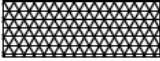
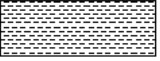
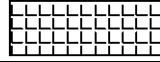
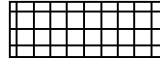
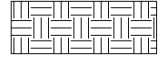
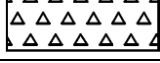


# CITY OF JOHANNESBURG LAND USE SCHEME, 2018

**TABLE 3: DENSITY DEVELOPMENT REQUIREMENTS**

| Reference to B-series Map<br>(Notation)                                             | Number of dwelling houses<br>per erf | Minimum area of erf in<br>square meters (m <sup>2</sup> ) |
|-------------------------------------------------------------------------------------|--------------------------------------|-----------------------------------------------------------|
|    | 1                                    | -                                                         |
|    | 1                                    | 100                                                       |
|    | 1                                    | 200                                                       |
|    | 1                                    | 300                                                       |
|    | 1                                    | 400                                                       |
|    | 1                                    | 500                                                       |
|   | 1                                    | 700                                                       |
|  | 1                                    | 800                                                       |
|  | 1                                    | 1 000                                                     |
|  | 1                                    | 1 250                                                     |
|  | 1                                    | 1 500                                                     |
|  | 1                                    | 2 000                                                     |
|  | 1                                    | 2 500                                                     |
|  | 1                                    | 3 000                                                     |
|  | 1                                    | 4 000                                                     |
|  | 1                                    | 6 000                                                     |
|  | 1                                    | 8 000                                                     |

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**TABLE 4: HEIGHT DEVELOPMENT REQUIREMENTS**

| (1)<br>Height Zone | (2)<br>Number of storeys | (3)          |         |            |          |         |               |             |          |                                                                                                |
|--------------------|--------------------------|--------------|---------|------------|----------|---------|---------------|-------------|----------|------------------------------------------------------------------------------------------------|
|                    |                          | Johannesburg | Sandton | Roodepoort | Randburg | Lenasia | Modderfontein | Walkerville | Edenvale | Peri-Urban<br>Halfway House<br>Annexure F<br>Lethabong<br>Westonaria<br>Southern<br>Jhb Region |
| <b>A</b>           | 3                        | 0            | 0       | 0          | 0        | 0       | 0             | 0           | 3        | 0                                                                                              |
|                    |                          | 6            | 2       | 4          | 3        | 1       | 1             | 1           | 4        |                                                                                                |
|                    |                          | 7            | 3       | 5          |          | 2       | 2             | 2           | 5        |                                                                                                |
|                    |                          | 8            | 4       | 6          |          | 3       | 3             | 3           | 6        |                                                                                                |
|                    |                          |              | 5       | 7          |          | 4       | 4             | 4           | 7        |                                                                                                |
|                    |                          |              | 6       | 8          |          | 5       | 5             | 5           | 8        |                                                                                                |
|                    |                          |              | 7       | 9          |          | 6       | 6             | 6           | 9        |                                                                                                |
|                    |                          |              | 8       | 10         |          | 7       | 7             | 7           | 10       |                                                                                                |
|                    |                          |              | 9       | 11         |          | 8       | 8             | 8           | 11       |                                                                                                |
|                    |                          |              | 10      | 12         |          | 9       | 9             | 9           |          |                                                                                                |
|                    |                          |              | 11      |            |          | 10      |               |             |          |                                                                                                |
| <b>B</b>           | 5                        | 5            | 1       | 3          | 2        |         |               |             |          |                                                                                                |
| <b>C</b>           | As per<br>Clause 30      | 1            |         | 1          | 1        |         |               |             | 0        |                                                                                                |
|                    |                          | 2            |         | 2          |          |         |               |             | 1        |                                                                                                |
|                    |                          | 3            |         |            |          |         |               |             | 2        |                                                                                                |
|                    |                          | 4            |         |            |          |         |               |             |          |                                                                                                |

# CITY OF JOHANNESBURG LAND USE SCHEME, 2018

**TABLE 5: COVERAGE DEVELOPMENT REQUIREMENTS**

| (1)<br>Height<br>Zone | (2)<br>Dwelling Houses, Dwelling<br>Units, Residential Buildings   | (3)<br>Shops, Business Purposes,<br>Institutional-, Educational<br>Facilities | (4)<br>Industrial<br>Purposes | (5)<br>Other Uses |
|-----------------------|--------------------------------------------------------------------|-------------------------------------------------------------------------------|-------------------------------|-------------------|
| <b>A</b>              | 50% for one storey<br>50% for two storeys<br>40% for three storeys | 50%                                                                           | 70%                           | 70%               |
| <b>B</b>              | Residential 1: 60%<br>Residential 2: 70%<br>Residential 3: 80%     | 70%                                                                           | 85%                           | 60%               |
| <b>C</b>              | 100%                                                               | 100%                                                                          | 100%                          | 100%              |

**TABLE 6: FLOOR AREA DEVELOPMENT REQUIREMENTS**

| (1)<br>Height<br>Zone | (2)<br>Dwelling Houses, Dwelling Units,<br>Residential Buildings, Institutional-,<br>Educational Facilities | (3)<br>Shops,<br>Business<br>Purposes | (4)<br>Industrial<br>Purposes | (5)<br>Other Uses not<br>found in<br>Columns<br>(2), (3) & (4) |
|-----------------------|-------------------------------------------------------------------------------------------------------------|---------------------------------------|-------------------------------|----------------------------------------------------------------|
| <b>A</b>              | 1,2                                                                                                         | 2,1                                   | 2,1                           | 2,1                                                            |
| <b>B</b>              | 2,4                                                                                                         | 3,0                                   | 3,0                           | 3,0                                                            |
| <b>C</b>              | 4,0                                                                                                         | 4,0                                   | 4,0                           | 4,0                                                            |
| <b>NOTE</b>           | With regard to the Inner City see <b>Annexure 17</b> (A/S 4458)                                             |                                       |                               |                                                                |

**TABLE 7: BUILDING LINE RESTRICTION AREAS**

| (1)<br>Use Zone and/or Land   | (2)<br>Size of Erf or Site<br>or Height Zone                              | (3)<br>Minimum Distance in meters<br>between building line and<br>street boundary |
|-------------------------------|---------------------------------------------------------------------------|-----------------------------------------------------------------------------------|
| Residential<br>1, 2, 3, 4 & 5 | Erven of 500m <sup>2</sup> or less<br>Erven larger than 500m <sup>2</sup> | 1,0 m<br>3,0 m                                                                    |

# CITY OF JOHANNESBURG LAND USE SCHEME, 2018

| (1)<br>Use Zone and/or Land              | (2)<br>Size of Erf or Site<br>or Height Zone | (3)<br>Minimum Distance in meters<br>between building line and<br>street boundary |
|------------------------------------------|----------------------------------------------|-----------------------------------------------------------------------------------|
| Agricultural Holdings<br>& farm portions | Less than 9ha<br>9ha and greater             | 9,0 m<br>30,0 m                                                                   |
| All other Use Zones                      | Height Zones A and B<br>Height Zone C        | 3,0 m<br>1,5 m                                                                    |

**TABLE 8: ON-SITE PARKING REQUIREMENTS**

| LAND USE CATEGORY                                 | REMAINDER OF CITY                                                                                                | PARKING ZONE B                                                                                                    |
|---------------------------------------------------|------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------|
|                                                   |                                                                                                                  | TOD CORRIDORS & NODES / PRASA, GAUTRAIN & BRT STATIONS / DEPRIVATION AREAS / ECONOMIC NODES                       |
| RESIDENTIAL                                       |                                                                                                                  |                                                                                                                   |
| Up to three habitable rooms                       | 1,0 bay per unit plus 1,0 bay per three units for visitors                                                       | 0,5 bays per unit plus 1,0 bay per three units for visitors                                                       |
| Four or more habitable rooms                      | 2,0 bays per unit plus 1,0 bay per three units for visitors                                                      | 1,0 bay per unit plus 1,0 bay per three units for visitors                                                        |
| Boarding houses, hostels, communes                | 0,5 bays per room                                                                                                | 0,3 bays per room                                                                                                 |
| Residential hotels, bed & breakfast, guest houses | 1,0 bay per room                                                                                                 | 0,5 bays per room                                                                                                 |
| Social/Inclusionary housing                       | 0,75 bays per unit                                                                                               | 0,5 bays per unit                                                                                                 |
| Licensed hotels, motels                           | 1,0 bay per bedroom plus 25,0 bays per 100 m² public rooms                                                       | 0,5 bays per bedroom plus 10,0 bays per 100 m² public rooms                                                       |
| RELIGIOUS PURPOSES                                |                                                                                                                  |                                                                                                                   |
| With seating provision                            | 0,4 bays per seat                                                                                                | 0,2 bays per seat                                                                                                 |
| Without seating provision                         | 25,0 bays per 100 m² of net prayer/meditation area                                                               | 10,0 bays per 100 m² of net prayer/meditation area                                                                |
| EDUCATIONAL / INSTRUCTIONAL                       |                                                                                                                  |                                                                                                                   |
| Primary and secondary schools                     | 1,0 bay per classroom plus 0,1 bay per learner and 1,0 bay per additional teacher/trained administrator or staff | 1,0 bay per classroom plus 0,1 bays per learner and 1,0 bay per additional teacher/trained administrator or staff |

# CITY OF JOHANNESBURG LAND USE SCHEME, 2018

| LAND USE CATEGORY                                                                                                  | REMAINDER OF CITY                                                                                         | PARKING ZONE B<br>TOD CORRIDORS & NODES /<br>PRASA, GAUTRAIN & BRT<br>STATIONS / DEPRIVATION<br>AREAS / ECONOMIC NODES |
|--------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------|
| <b>Nursery schools, crèches, day care centres</b>                                                                  | 0,2 bays per child plus 1,0 bay per classroom                                                             | 0,1 bays per child plus 1,0 bay per classroom                                                                          |
| <b>Universities, colleges, adult education, advanced technical education and other full-time education</b>         | 0,4 bays per student plus 1,0 bay per classroom and 1,0 bay per additional trained / administration staff | 0,2 bays per student plus 1,0 bay per classroom and 1,0 bay per additional trained / administration staff              |
| <b>Under 18 part-time instruction</b>                                                                              | 0,5 bays per learner plus 1,0 bay per trained staff                                                       | 0,2 bays per learner plus 1,0 bay per trained staff                                                                    |
| <b>Medical schools</b>                                                                                             | 0,8 bays per student plus 1,0 bay per classroom and 1,0 bay per additional trained / administration staff | 0,4 bays per student plus 1,0 bay per classroom and 1,0 bay per additional trained / administration staff              |
| <b>SOCIAL / RECREATIONAL/ INSTITUTIONAL</b>                                                                        |                                                                                                           |                                                                                                                        |
| <b>Convalescent homes, Old age homes, geriatric, homes with medical care, sanatoriums, charitable institutions</b> | 1,0 bay per bed plus 1,0 bay per trained / administration staff                                           | 1,0 bay per bed plus 1,0 bay per trained / administration staff                                                        |
| <b>Bowling alleys, indoor shooting club, billiard saloons</b>                                                      | 6,0 bays per 100 m <sup>2</sup>                                                                           | 3,0 bays per 100 m <sup>2</sup>                                                                                        |
| <b>Sports clubs</b>                                                                                                | 0,7 bays per player and staff plus 0,5 bays per spectator                                                 | 0,4 bays per player and staff plus 0,2 bays per spectator                                                              |
| <b>Sports stadium</b>                                                                                              | 0,7 bays per player and staff plus 0,5 bays per spectator                                                 | 0,4 bays per player and staff plus 0,2 bays per spectator                                                              |
| <b>Swimming pools</b>                                                                                              | 20,0 bays per 100 m <sup>2</sup> for whole enclosed area or 0,7 bays per seat, whichever is the greater   | 10,0 bays per 100 m <sup>2</sup> for whole enclosed area or 0,2 bays per seat, whichever is the greater                |
| <b>Squash courts</b>                                                                                               | 4,0 bays per court                                                                                        | 2,0 bays per court                                                                                                     |
| <b>Social clubs, youth clubs, community centres</b>                                                                | 4,0 bays per 100 m <sup>2</sup>                                                                           | 2,0 bays per 100 m <sup>2</sup>                                                                                        |
| <b>Show grounds, amusement parks, fairs, snake parks, etc.</b>                                                     | 15,0 bays per 100 m <sup>2</sup> of total site area excluding parking area                                | 10,0 bays per 100 m <sup>2</sup> of total site area excluding parking area                                             |
| <b>Zoos, parks, nature/flower parks</b>                                                                            | 10,0 bays per 100 m <sup>2</sup> of total site area excluding parking area                                | 5,0 bays per 100 m <sup>2</sup> of total site area excluding parking area                                              |
| <b>Sport and recreation facilities</b>                                                                             | 10,0 bays per 100 m <sup>2</sup> or 0,25 bays per seat                                                    | 5,0 bays per 100 m <sup>2</sup> or 0,25 bays per seat                                                                  |
| <b>Gymnasium/Health Clubs</b>                                                                                      | 10,0 bays per 100 m <sup>2</sup> plus 1,0 bay per trainer                                                 | 5,0 bays per 100 m <sup>2</sup>                                                                                        |

# CITY OF JOHANNESBURG LAND USE SCHEME, 2018

| LAND USE CATEGORY                                       | REMAINDER OF CITY                                                                      | PARKING ZONE B<br>TOD CORRIDORS & NODES /<br>PRASA, GAUTRAIN & BRT<br>STATIONS / DEPRIVATION<br>AREAS / ECONOMIC NODES |
|---------------------------------------------------------|----------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------|
| Institution                                             | 1,5 bays per 100 m <sup>2</sup>                                                        | 0,75 bays per 100 m <sup>2</sup>                                                                                       |
| <b>PUBLIC GARAGES AND MOTOR RELATED USES</b>            |                                                                                        |                                                                                                                        |
| Workshops, convenience shop, take-aways, Drive-throughs | 6,0 bays per 100 m <sup>2</sup>                                                        | 3,0 bays per 100 m <sup>2</sup>                                                                                        |
| Lubrication, tune-up bays, car wash                     | 4,0 bays per wash/tune-up bay                                                          | 2,0 bays per wash/tune-up bay                                                                                          |
| Related spares and sales                                | 2,0 bays per 100 m <sup>2</sup>                                                        | 1,0 bay per 100 m <sup>2</sup>                                                                                         |
| Related motor showroom                                  | 3,0 bays per 100 m <sup>2</sup>                                                        | 1,5 bays per 100 m <sup>2</sup>                                                                                        |
| Stand-alone Filling Station                             | 2,0 stacking bays per pump                                                             | 2,0 stacking bays per pump                                                                                             |
| Used car sales lots                                     | 3,0 bays per 100 m <sup>2</sup>                                                        | 1,0 bay per 100 m <sup>2</sup>                                                                                         |
| <b>MEDICAL USES</b>                                     |                                                                                        |                                                                                                                        |
| Hospital, Clinics, Step-down facilities                 | 2,0 bays per bed plus 6,0 bays per 100 m <sup>2</sup> for the medical consulting rooms | 1,0 bay per bed plus 3,0 bays per 100 m <sup>2</sup> for the medical consulting rooms                                  |
| Veterinary hospitals and consulting rooms               | 6,0 bays per 100 m <sup>2</sup>                                                        | 3,0 bays per 100 m <sup>2</sup>                                                                                        |
| Medical consulting rooms                                | 6,0 bays per 100 m <sup>2</sup>                                                        | 3,0 bays per 100 m <sup>2</sup>                                                                                        |
| <b>BUSINESS USES</b>                                    |                                                                                        |                                                                                                                        |
| Offices                                                 | 4,0 bays per 100 m <sup>2</sup>                                                        | 2,0 bays per 100 m <sup>2</sup>                                                                                        |
| Restaurants                                             | 6,0 bays per 100 m <sup>2</sup>                                                        | 3,0 bays per 100 m <sup>2</sup>                                                                                        |
| Motor Showrooms                                         | 6,0 bays per 100 m <sup>2</sup>                                                        | 3,0 bays per 100 m <sup>2</sup>                                                                                        |
| Showrooms                                               | 3,0 bays per 100 m <sup>2</sup>                                                        | 1,5 bays per 100 m <sup>2</sup>                                                                                        |
| Shops                                                   | 6,0 bays per 100 m <sup>2</sup>                                                        | 3,0 bays per 100 m <sup>2</sup>                                                                                        |
| Shops (Shopping centres < 5 000 m <sup>2</sup> )        | 6,0 bays per 100 m <sup>2</sup>                                                        | 3,0 bays per 100 m <sup>2</sup>                                                                                        |

# CITY OF JOHANNESBURG LAND USE SCHEME, 2018

| LAND USE CATEGORY                                                 | REMAINDER OF CITY                                      | PARKING ZONE B                                                                                       |
|-------------------------------------------------------------------|--------------------------------------------------------|------------------------------------------------------------------------------------------------------|
|                                                                   |                                                        | TOD CORRIDORS & NODES /<br>PRASA, GAUTRAIN & BRT<br>STATIONS / DEPRIVATION<br>AREAS / ECONOMIC NODES |
| <b>Shops (Shopping centres &lt; 10 000 m<sup>2</sup>)</b>         | 5,0 bays per 100 m <sup>2</sup>                        | 3,0 bays per 100 m <sup>2</sup>                                                                      |
| <b>Shops (Shopping centres &gt; 10 000 m<sup>2</sup>)</b>         | 4,0 bays per 100 m <sup>2</sup>                        | 3,0 bays per 100 m <sup>2</sup>                                                                      |
| <b>Cinemas/theatre (in shopping centres)</b>                      | 0,2 bays per seat                                      | 0,2 bays per seat                                                                                    |
| <b>Cinemas/theatres</b>                                           | 0,5 bays per seat                                      | 0,2 bays per seat                                                                                    |
| <b>Exhibition halls</b>                                           | 30,0 bays per 100 m <sup>2</sup>                       | 15,0 bays per 100 m <sup>2</sup>                                                                     |
| <b>Halls for entertainment, conferences (with seats)</b>          | 0,4 bays per seat                                      | 0,2 bays per seat                                                                                    |
| <b>Halls for entertainment, conferences (without seats)</b>       | 40,0 bays per 100 m <sup>2</sup>                       | 20,0 bays per 100 m <sup>2</sup>                                                                     |
| <b>Libraries, museums, galleries and other cultural buildings</b> | 5,0 bays per 100 m <sup>2</sup>                        | 2,5 bays per 100 m <sup>2</sup>                                                                      |
| <b>Funeral Parlors</b>                                            | 2,0 bays per 100 m <sup>2</sup>                        | 1,0 bay per 100 m <sup>2</sup>                                                                       |
| <b>Place of amusement</b>                                         | 10,0 bays per 100 m <sup>2</sup> or 0,25 bays per seat | 5,0 bays per 100 m <sup>2</sup> or 0,15 bays per seat                                                |
| <b>Industrial, commercial &amp; warehousing uses</b>              | 2,0 bays per 100 m <sup>2</sup>                        | 1,0 bay per 100 m <sup>2</sup>                                                                       |
| <b>Warehouses (storage)</b>                                       | 1,0 bay per 100 m <sup>2</sup>                         | 0,5 bays per 100 m <sup>2</sup>                                                                      |
| <b>All other Land Uses</b>                                        | To the satisfaction of Council                         |                                                                                                      |

**TABLE 9: ON-SITE PARKING IN PARKING ZONE A (INNER CITY)**

| (1)<br>Offices                 | (2)<br>Residential<br>Buildings               | (3)<br>Buildings<br>containing two or<br>more dwelling<br>units | (4)<br>Uses not<br>mentioned<br>under<br>Columns 1, 2,<br>3 and 5 | (5)<br>Public<br>garages                           |
|--------------------------------|-----------------------------------------------|-----------------------------------------------------------------|-------------------------------------------------------------------|----------------------------------------------------|
| 2,0 bays per 100m <sup>2</sup> | <b>Guest rooms :</b><br>0,75 bays per bedroom | 1,5 bays per dwelling unit                                      | 0,5 bays per 100m <sup>2</sup>                                    | <b>Workshop:</b><br>6,0 bays per 100m <sup>2</sup> |

# CITY OF JOHANNESBURG LAND USE SCHEME, 2018

| (1)<br>Offices | (2)<br>Residential<br>Buildings                                                                                     | (3)<br>Buildings<br>containing two or<br>more dwelling<br>units | (4)<br>Uses not<br>mentioned<br>under<br>Columns 1, 2,<br>3 and 5 | (5)<br>Public<br>garages                                                                                                                                                                 |
|----------------|---------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------|-------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|                | <b>Restaurants:</b><br>6,0 bays per<br>100m <sup>2</sup><br><br><b>Conference<br/>room:</b><br>0,3 bays per<br>seat |                                                                 |                                                                   | <b>Lubrication-,<br/>wash- or<br/>tune-up bay:</b><br>4,0 bays per<br>bay<br><br><b>Storage and<br/>sale of spares<br/>and motor<br/>showrooms:</b><br>2,0 bays per<br>100m <sup>2</sup> |