

**TAD LABORATORY BOQ; ROOF MEASUREMENTS AS PER OVERHEAD ARIAL VIEW PICTURE AND PRICING SCHEDULE**

- First Illustration with alphabet labels (page 9) covers all building (blocks) sections with alphabet labels in the scope of work

**Block A**

Downpipes	Gutters	Roof	Roof Spinal Column
<ul style="list-style-type: none"> <li>• 24 Units</li> <li>• Length = 3 m</li> </ul>	<ul style="list-style-type: none"> <li>• 11 m x 2</li> <li>• 10m x 2</li> <li>• 23 x 1</li> <li>• 12m x 1</li> <li>• 30m x 1</li> <li>• 13m x 1</li> <li>• 10m x 2</li> <li>• 5m x 1</li> <li>• 7m x 1</li> <li>• 1m x 1</li> </ul>	<ul style="list-style-type: none"> <li>• 11m x 10m</li> <li>• 30m x 13m</li> <li>• 10m x 5m</li> <li>• 7m x 5m</li> </ul>	Not Applicable
<b><u>Rand Value Totals = R</u></b>			

**Block B**

Downpipes	Gutters	Roof	Roof Spinal Column
<ul style="list-style-type: none"> <li>• 12 x 2 = 24 Units</li> <li>• Length = 4 m</li> </ul>	<ul style="list-style-type: none"> <li>• 16.5m x 2</li> <li>• 89.5m x 2</li> <li>• Galvanised industrial type</li> </ul>	<ul style="list-style-type: none"> <li>• 16.5m x 3.5m x 2</li> <li>• 16.5m x 6.5m x 2</li> <li>• 89.5m x 3.5 x 2</li> <li>• 89.5m x 6.5m x 2</li> </ul>	Length = 89.5m x 2m
<b><u>Rand Value Totals = R</u></b>			

**Block C**

Downpipes	Gutters	Roof	Roof Spinal Column
<ul style="list-style-type: none"> <li>• 10 x 2 = 20 Units</li> <li>• Length = 4 m</li> </ul>	<ul style="list-style-type: none"> <li>• 15m x 1</li> <li>• 45m x 2</li> <li>• Galvanised industrial type</li> </ul>	<ul style="list-style-type: none"> <li>• 15m x 3.5m</li> <li>• 45m x 6.5m x 2</li> </ul>	Length = 36m x 2m
<b>Rand Value Totals = R</b>			

**Block D**

Downpipes	Gutters	Roof	Roof Spinal Column
<ul style="list-style-type: none"> <li>• 12 x 2 = 24 Units</li> <li>• Length = 4 m</li> </ul>	<ul style="list-style-type: none"> <li>• 21.5m x 2</li> <li>• 35 m x 2</li> </ul>	<ul style="list-style-type: none"> <li>• 21.5m x 6m x 2</li> <li>• 21.5m x 6.5m x 2</li> <li>• 35m x 6m x 2</li> <li>• 35m x 6.5m x 2</li> </ul>	26m x 2
<b>Rand Value Totals = R</b>			

**Block E**

Downpipes	Gutters	Roof	Roof Spinal Column
<ul style="list-style-type: none"> <li>• 13 x 2 = 20 Units</li> <li>• Length = 4 m</li> </ul>	<ul style="list-style-type: none"> <li>• 16m x 1</li> <li>• 51m x 2</li> <li>• Galvanised industrial type</li> </ul>	<ul style="list-style-type: none"> <li>• 16m x 3.5m</li> <li>• 51m x 6.5m x 2</li> </ul>	Length = 36m x 2m
<b>Rand Value Totals = R</b>			

**Block F**

Downpipes	Gutters	Roof	Roof Spinal Column
<ul style="list-style-type: none"><li>• 19 x 2= 38 Units</li><li>• Length = 4 m</li></ul>	<ul style="list-style-type: none"><li>• 87.5m x 2</li></ul>	<ul style="list-style-type: none"><li>• 87.5m x 3.5m x 2</li><li>• 87.5m x 6.5m x 2</li></ul>	Length = 80m x 2m
<b>Rand Value Totals = R</b>			

**Block E Roof Repairs**

1. Remove damaged roof sheets = 5m x 3,5m .....cost implication =
2. Remove damaged wooden trusses = 5 x 3,5m .....cost implication =
3. Remove wooden supporting beams = 5m x 3,5m.....cost implications =
4. Rebuild wooden supporting beams = 5m x 3,5m.....cost implications =
5. Rebuild damaged wooden trusses = 5m x 3,5.....cost implication =
6. Replace damaged roof sheets by 1 mm thickness = 5m x 3,5m.....cost implication =

<b>Rand Value Totals = R</b>
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**Recommendations:**

It is recommended that the following should be applied:

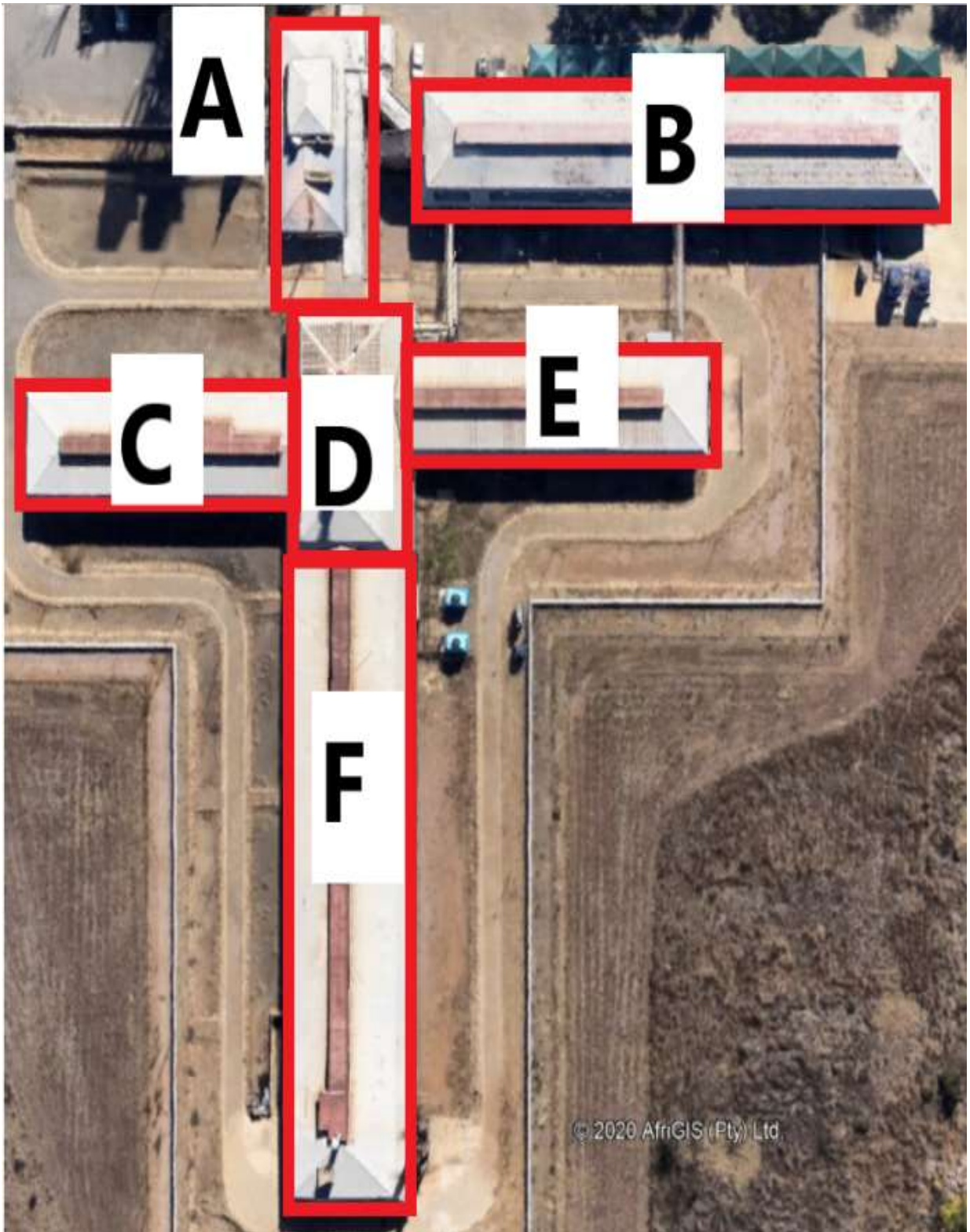
1. Remove rust
2. Apply anti-rust primer
3. Ensure that all bolts and washers are secured
4. Apply metal roof coat paint after primer
5. Apply final antique green waterproofing paint ( Similar to new Admin Building)
6. All gutters should be replaced
7. All downpipes should be replaced
8. Gutter side heights to be similar to the existing/current size (galvanised industrial type).
9. Ensure all wooden planks and nets are secured.
10. All nets replaced and secured.
11. All wooden planks are oil treated prior installation.

**FINAL RAND TOTALS OF THE LAB SCOPE:**

- **Block A =**
- **Block B =**
- **Block C =**
- **Block D =**
- **Block E =**
- **Block F =**

<b>Final Rand Value Totals = R</b>
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TAD Laboratory Overhead Aerial View



Block AREA with the Perimeter	LENGTH	BREATH/WIDTH
<b>A</b> = 46m	(11m + 10m) x 2	1m
<b>B</b> = 144m	70m x 2	1m
<b>C</b> = 76m	36m x 2	1m
<b>D</b> = 56	26m x 2	1m
<b>E</b> = 76m	36m x 2	1m
<b>F</b> = 164m	80m x 2	1m
<b>Rand Value Totals = R</b>		

Provision for damaged/replacement of wooden planks will be accommodated by the **CONTINGENCY**.

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- All the nets are to be replaced with new nets to block flies or bees from entering the ventilation space

### **TAD Laboratory Overhead Aerial View Reference**

Block AREA with the Perimeter	LENGTH	BREATH/WIDTH
<b>A</b> = 46m	(11m + 10m) x 2	2m
<b>B</b> = 144m	70m x 2	2m
<b>C</b> = 76m	36m x 2	2m
<b>D</b> = 56	26m x 2	2m
<b>E</b> = 76m	36m x 2	2m
<b>F</b> = 164m	80m x 2	2m
<b>Rand Value Totals = R</b>		

Provision for damaged/replacement of wooden planks will be accommodated by the **CONTINGENCY**

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- Between Blocks A & B, the old concrete paving attachment must be removed and prepared for new installation.

SIZES	AREA
15m x 4m = 60m <sup>2</sup> .....Thickness = 300mm	Tissue Culture
7m x 5m = 35m <sup>2</sup> .....Thickness = 300mm	Reception
35m x 4m = 140 m <sup>2</sup> .....Thickness = 300mm	Overheard Passageway to Showers
11m x 4m = 44 m <sup>2</sup> .....Thickness = 300mm	Stairway
7m x 1m = 7 m <sup>2</sup> .....Thickness = 300mm	Distil Plant
9m x 4m = 36 m <sup>2</sup> .....Thickness = 300mm	Incinerator Room

1. Removal of all existing water protection in all areas (322m ), cost implication =
2. Sealing of all concrete cracks (visible only after removal) per square metre =
3. Preparation and installation of new materials in all areas (322m ) =

**Rand Value Totals = R**

- Parking areas - installation of galvanised industrial gutters and downpipes

DIRECTION	GUTTERS	DOWNPIPES	TRUSEE EXTENSIONS	ROOF SHEET SUPPORT BEAM
<b>SOUTH PARKING</b>	Length = 30m	6 x 3m length	9 x 1m length	Not Applicable
<b>NORTH PARKING</b>	Length = 30m	6 x 3m length	9 x 1m length	10cm x 60cm x 30m length (remove existing and replace with new oiled.

**Rand Value Totals = R**

- Back covered tractor parking removal and replacement of four (4) galvanised industrial gutters and four (4) downpipes

DIRECTION	GUTTERS	DOWNPIPES
<b>SOUTHSIDE</b>	1 x 20m	2 x 3m length
<b>NORTHSIDE</b>	1 x 20m	2 x 3m length
<b>EASTSIDE</b>	1 x 7m	Not Applicable
<b>WESTSIDE</b>	1 x 7m	Not Applicable

**Rand Value Totals = R**

- LT, generator and transformers, concrete paving, old attachment removal, preparation and installation of new rubber membrane

AREA	GUTTERS	DOWNPIPES	CONCRETE WATERPROOFING BY RUBBER MEMBRANE
<b>GENERATOR ROOM</b>	2 x 14m	4 x 6m length	Not applicable
<b>LT &amp; TRANSFORMERS</b>	2 x 9m	6 x 4m length	13m x 9m = 117 m <sup>2</sup> Thickness = 800mm

**Rand Value Totals = R**

- Building A, remove and install new gutters and downpipes

DIRECTION	GUTTERS	DOWNPIPES
<b>SOUTHSIDE</b>	1 x 15m 1 x 8m	3 x 3m length 3 x 3m length
<b>NORTHSIDE</b>	1 x 22m	5 x 3m length
<b>EASTSIDE</b>	1 x 9m 1 x 5m	2 x 3m length 2 x 3m length
<b>WESTSIDE</b>	1 x 6m 2 x 9m 1 x 6m	2 x 3m length 4 x 3m length 2 x 3m length

**Rand Value Totals = R**

- New administration (admin) building, remove all as listed below and install new as listed below.

<b>Perimeter</b>	1 270m	<b>Cellotape application for painting</b>
<b>Gutters</b>	80m (patio) + 1 270m x galvanised industrial type with catchment lip	Dependant
<b>Downpipes</b>	30 x 4m length	Dependant
<b>Facia boards</b>	1 270m x 30cm	Dependant
<b>Ceilings</b>	1 270m x 1m	Dependant
<b>Ceiling edges finishing's</b>	1 270m x 2	Dependent
<b>Door entrance ceiling painting</b>	6m x 4m	Essential
<b>Outside window frames painting</b>	1m x 1,5m x 30 units	Essential
<b>Door oil application</b>	2m x 1m x 1 units	Essential
<b>Doorframes painting and doors</b>	2m x 1m x 14 units	Essential

**Rand Value Totals = R**

Provision for damaged/replacement of wooden planks will be accommodated by the **CONTINGENCY**

- Stores building next to new admin building, remove all as listed below, install new as listed below and paint all except gutters.

<b>Perimeter</b>	70m	<b>Cellotape application for painting</b>
<b>Gutters</b>	70m x galvanised industrial type with catchment lip, do not paint	Dependant
<b>Downpipes</b>	14 x 4m length	Dependant
<b>Facia boards</b>	70m x 30cm	Dependant
<b>Ceilings</b>	70m x 1m	Dependant
<b>Ceiling edges finishing's</b>	70m x 2	Dependent
<b>Door entrance ceiling painting</b>	1m x 1m	Essential
<b>Outside window frames painting</b>	1m x 1,5m x 10 units	Essential
<b>Door oil application</b>	2m x 1m x 5 units	Essential
<b>Doorframes painting</b>	2 x 2m x 1m x 5 units	Essential

**Rand Value Totals = R**

Provision for damaged/replacement of wooden planks will be accommodated by the **CONTINGENCY**

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**Total bid price**

Excluding VAT Rand Value Total = R\_\_\_\_\_

Contingency at 10% = R\_\_\_\_\_

Including VAT Rand Value Total = R\_\_\_\_\_