



IZIKO SOUTH AFRICA MUSEUMS

DESCRIPTION OF THE WORKS AND TECHNICAL SPECIFICATIONS FOR THE SOUTH AFRICA MUSEUM 2025 UPGRADE

PREPARED BY: OSMOND LANGE ARCHITECTS

ISSUE DATE: AUGUST 2024



Supplementary Documents	
Pack 1: Condition	1.1. Photographic record reference drawing 1.2. Photographic reference of conditions
Pack 2: Refurbish	2.1. Plans with dimensions and areas

LOBBY & RECEPTION

DESCRIPTION OF THE WORKS AND TECHNICAL SPECIFICATIONS FOR UPGRADING THE FOYER & PUBLIC BATHROOMS

Iziko South Africa Museum

1. Property Identification & Background



Address: 25 Queen Victoria St, Gardens, Cape Town, 8001

Erf Numbers: The SA Museum is situated on the erf: Erf 95137 measuring 15019.6 m².

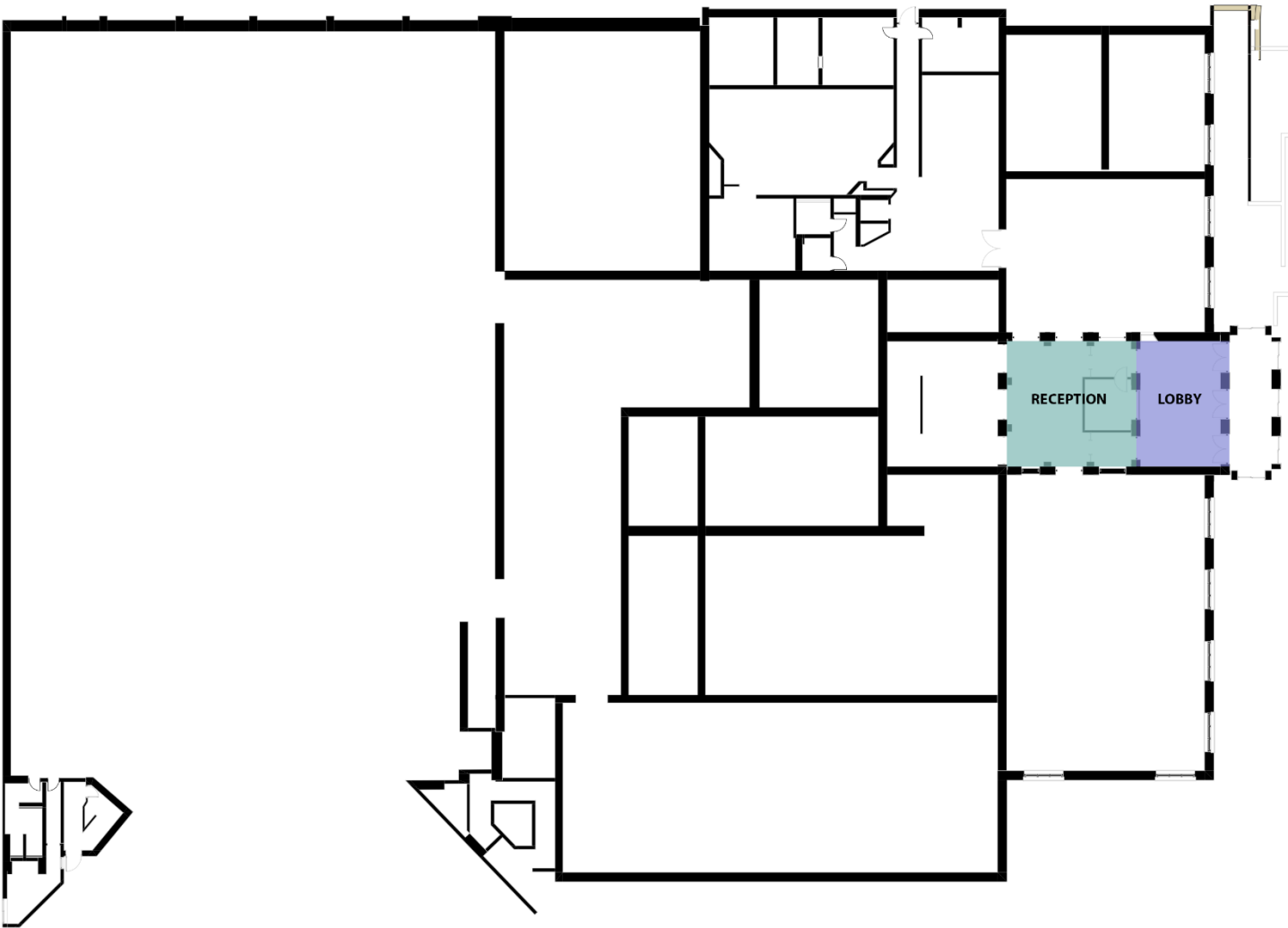
Ownership: Department of Public Works (Erf 95161).

Heritage grading: Graded II (provincial heritage sites of high significance).

Historic Name: South African Museum. The South African Museum was founded by Lord Charles Somerset in 1825 as a general museum comprising natural history and material culture from local and other groups.

For further information on the history refer to the approved Conservation Management plan by Urban Design Services (2018).

DESCRIPTION OF THE WORKS AND TECHNICAL SPECIFICATIONS FOR UPGRADING
THE INTERIOR ENTRANCE AREA



GROUND FLOOR KEY PLAN

DESCRIPTION OF THE WORKS AND TECHNICAL SPECIFICATIONS FOR UPGRADING THE INTERIOR ENTRANCE AREA

Lobby (fig 1)

A. EXTERIOR CONDITION ASSESSMENT:

1. **Door:** Varnished timber three-panel double door with single-pane fanlight transom window. Doors are in relatively good condition but show signs of wear and tear. The transom windows are in good condition but need some cleaning. It is noted that the interior face of the door and transom window casing have been painted white to match the foyer wall. Refer to pack 1, photo ref: 1-2.
2. **Ironmongery:** Brass ironmongery is in an acceptable condition and needs cleaning and care. In need of a clean. Refer to pack 1, photo ref: 3.
3. **Floor:** Heritage tile. It is in an acceptable condition considering its age and foot traffic volumes. However, some tiles need to be fixed or chipped and need attention. Refer to pack 1, photo ref: 4.
4. **Skirting:** This is decorative heritage lime plaster band skirting. It shows signs of wear and tear, needs repairs in some areas, and needs a new coat of paint. Refer to pack 1, photo ref: 5.
5. **Wall:** Decorative heritage lime plaster with a white paint finish. The plaster along some of the edges of the interior archways leading to the reception area is damaged, and some other areas also need attention. Refer to pack 1, photo ref: 6.
6. **Ceiling:** Modern flush plastered suspended ceiling offset from wall edge to protect heritage cornice. Noted the modern ceiling hides services. The ceiling is in good condition. Refer to pack 1, photo ref: 7.
7. **Lighting:** Tripple downlights are recessed into a flush plaster-suspended ceiling. The lights are in working condition. Refer to pack 1, photo ref: 8.

B. RENOVATION INSTRUCTION:

NOTE: The existing reception desk must be removed before the commencement of any work. Care must be taken not to damage historic floor tiles or any exit routes used during the removal process.

NOTE: Other loose furniture items are to be removed and stored as directed by Iziko before the commencement of any work.

NOTE: All signage is to be carefully removed and stored away for re-installment as directed by Iziko before the commencement of any work.

1. **Service & repair doors:** All timber entrance doors with transoms will be serviced and re-varnished.
 - 1.1 Cover glass panes with a protection layer during the servicing of the frames to protect the original glazing.
 - 1.2 Remove existing varnish on the frames by sanding/using a paint stripper. Neutralise the paint stripper according to the manufacturer's instructions. Allow the wood to dry completely. Sand until smooth. Remove dust with a clean, dry cloth. Then wipe with mineral turpentine. Oiled wood: Sand until smooth. Then, scrub well with Woodoc Steel

Wool (or equivalent) and mineral turpentine. Clean off residue with a clean, dry cloth. Allow the surface to dry.

1.2 Apply Woodoc 50 matt clear exterior marine varnish, or equivalent, as per manufacturer's specification and recommendation.

2. Service & clean ironmongery: All entrance door ironmongery to be serviced and cleaned.

2.1 All ironmongery products should be washed with mild soap, warm water, and a soft cloth. Ensure that they are rinsed thoroughly.

2.2 Ironmongery must be checked, tightened and lubricated to ensure it is fully operational.

***If lacquered:** When the lacquer coating has broken down, remove all trace elements and clean the article regularly with a metal polish.*

***If unlacquered:** Regular polishing with a good-quality metal polish is essential to maintaining its original finish.*

3. Cleaning of floor tiles: Clean historic tiles according to the specific instructions from the Iziko exhibition team.

4. Repair and repainting of skirting: Existing heritage lime plaster skirting is to be repaired and repainted to match the existing undamaged skirting. Existing plaster in other areas appear to be in sound condition.

4.1. Surface preparation (cleaning):

Brush down the wall to remove dust, cobwebs, and dirt. The walls are then washed with a wet sponge to remove grime and grease from the surfaces. The cleaned walls must be left to dry. Use fine sandpaper or a sandpaper sponge to remove more stubborn marks and unwanted ridges.

4.2. Surface preparation (inspection):

Visually inspect all wall lime-plastered surfaces and identify areas that require repair, such as Plaster cracks, hollow plaster, and damaged areas.

4.3. Damaged or chipped decorative lime plaster:

Open the damaged area sufficiently to allow the repair material to be adequately filled to achieve a mechanical bond. Clean away dust, grease, and grime from the surface. Fill areas with a lime-based patching plaster using a putty knife or trowel. Smooth off while still wet. Allow to dry according to manufacturer instructions. The texture on repaired areas must be finished to match the existing profile.

4.4. Substrate condition and moisture content:

Ensure surfaces are clean, dry, and sound. The moisture content must be no more than the required amount for heritage lime plaster.

4.5. Full primer coat:

Apply one full coat of Plascon Professional Damp Plaster Paint White, or equivalent, diluted 10% with Mineral Turpentine and allow to dry for 16 hours.

Apply three coats of Plascon Professional Bridging Compound, or equivalent, at a wet film thickness of 650µm per coat to achieve the recommended dry film thickness of 1000µm. Apply each new layer in a 90° direction to the previous layer. Smooth off with a water-wet brush while still wet. Allow 4 hours of drying at 23°C between coats. Longer drying and curing times must be observed in colder and damper environments.

Paint finish to match existing.

Where Professional Bridging Compound, or equivalent, is used, moisture levels above 8% on plaster surfaces might adversely affect paint performance, negating the evaporation abilities of the bridging compound coating system.

4.6. Fishing coat:

Apply two coats of Professional Damp Plaster Paint, or equivalent, to achieve complete obliteration. Allow 16 hours for the paint to dry.

5. Repair and repainting of walls: Heritage lime-plastered walls are to be repaired and repainted to match the existing undamaged walls. Existing plaster in other areas appear to be in sound condition.

5.1. Surface preparation (cleaning):

Brush down the wall to remove dust, cobwebs, and dirt. The walls are then washed with a wet sponge to remove grime and grease from the surfaces. The cleaned walls must be left to dry. Use fine sandpaper or a sandpaper sponge to remove more stubborn marks and unwanted ridges.

5.2. Surface preparation (inspection):

Visually inspect all wall lime-plastered surfaces and identify areas that require repair, such as Plaster cracks, hollow plaster, and damaged areas.

5.3. Damaged or chipped decorative lime plaster:

Open the damaged area sufficiently to allow the repair material to be adequately filled to achieve a mechanical bond. Clean away dust, grease, and grime from the surface. Fill areas with a lime-based patching plaster using a putty knife or trowel. Smooth off while still wet. Allow to dry according to manufacturer instructions. The texture on repaired areas must be finished to match the existing profile.

5.4. Substrate condition and moisture content:

Ensure surfaces are clean, dry, and sound. The moisture content must be no more than the required amount for heritage lime plaster.

5.5. Full primer coat:

Apply one full coat of Plascon Professional Damp Plaster Paint White, or equivalent, diluted 10% with Mineral Turpentine and allow to dry for 16 hours.

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Paint finish to match existing.

Where Professional Bridging Compound, or equivalent, is used, moisture levels above 8% on plaster surfaces might adversely affect paint performance, negating the evaporation abilities of the bridging compound coating system.

5.6. Fishing coat:

Apply two coats of Professional Damp Plaster Paint, or equivalent, to achieve complete obliteration. Allow 16 hours for the paint to dry.

- 6. Ceiling:** Existing suspended ceiling to be renovated. New lighting to be installed per Electrical engineers' specifications and details. The ceiling is to be repainted after the installation of the new lighting.

Install New Lighting: Lighting will be integrated per the electrical engineer's details. Existing lighting positions to be upgraded and installed as per electrical engineers' specifications.

6.1. Repainting suspended ceiling: Existing ceiling is to be cleaned, sound and dry before repainting the surface with Plascon One Coat Ceiling Paint, WHITE, or equivalent.

Surface Preparation: Wash of dirt and grease thoroughly with Polycell Sugar Soap Powder, or equivalent. Rinse thoroughly with clean water and allow to dry. Sand glossy areas to a uniform matt surface and apply Plascon Universal Undercoat, or equivalent.

Paint application: apply Plascon One Coat Ceiling Paint generously by brush or roller to the ceiling surface to achieve complete obliteration. If a second coat is needed, allow the first coat to dry for at least two hours. Paint to be applied in strict accordance to the manufacturer's instructions.

- 7. New false wall:** Install new 100 mm timber framed wall construction with 20 mm boarding in Noble White Finish for electronic screen mounting. Timber wall supports to align with screen mounting.
- 8. New installation:** As indicated on the drawings, a new electronic information screen will be installed according to electrical engineer specifications.

New electronic information screen: 1620 mm (L) x 1650 mm (W) x 905 mm (H) 4K Ultra HD, 3840 x 2160 pixels, ratio 16:9 screen or equivalent.

- 9. New Access Control:** A new security access control gate will be installed according to the manufacturer's details and specifications. Iziko staff will control the gate. An emergency release system will be included in case of evacuation.

DESCRIPTION OF THE WORKS AND TECHNICAL SPECIFICATIONS FOR UPGRADING THE INTERIOR ENTRANCE AREA

RECEPTION (fig 1)

A. EXTERIOR CONDITION ASSESSMENT:

1. **Door:** In the central archway is a full-glass double door with a copper frame and white-painted, timber-cased single-pane fanlight transom. The doors are in relatively good condition but show wear and tear. The transom window is in good condition but needs some cleaning. Refer to pack 1, photo ref: 9.
2. **Floor:** Heritage tile. It is in an acceptable condition considering its age and foot traffic volumes. However, some tiles need to be fixed or chipped and need attention. Refer to pack 1, photo ref: 11.
3. **Skirting:** This is decorative plaster band skirting. It shows signs of wear and tear, needs patching in some areas, and needs a new coat of paint. Refer to pack 1, photo ref: 12.
4. **Wall:** Decorative plaster and mouldings are made of various wall openings with a white paint finish. Some of the decorative plaster and mouldings are damaged along the edges. Repairs and a new coat of paint are needed. Refer to pack 1, photo ref: 13 - 14.
5. **Ceiling:** Modern flush plastered suspended ceiling offset from wall edge to protect heritage cornice. Noted the modern ceiling hides services. The ceiling is in good condition. Refer to pack 1, photo ref: 15.
6. **Lighting:** Tripple downlights are recessed into a flush plaster-suspended ceiling. The lights are in working condition. Refer to pack 1, photo ref: 16.

B. RENOVATION INSTRUCTION:

NOTE: The existing reception desk must be removed before the commencement of any work. Care must be taken not to damage historic floor tiles or any exit routes used during the removal process.

NOTE: Other loose furniture items must be removed and stored as directed by Iziko before work commences. Care must be taken not to damage historic floor tiles or any exit routes used during the removal process.

NOTE: All signage must be carefully removed and stored away for re-installment, as directed by Iziko, before the commencement of any work.

1. **Removal of doors:** The existing full-glass double door with a copper frame will be carefully removed before the commencement of any work and stored as directed by Iziko. Care must be taken during the removal and storage of the door to ensure no damage occurs to the historic door or its surroundings. Existing timber frame located in the arches are to be kept as is.
2. **Cleaning of floor tiles:** Clean historic tiles according to the specific instructions from the Iziko exhibition team.
3. **Repair and repainting of skirting:** The plaster skirting will be repaired and repainted to match the existing undamaged skirting. The existing plaster in other areas seems to be in sound condition, but further assessment will be required to identify whether the plaster is a cement or lime-based mix.

3.1. Surface preparation (cleaning):

Brush down the wall to remove dust, cobwebs, and dirt. The walls are then washed with a wet sponge to remove grime and grease from the surfaces. The cleaned walls must be left to dry. Use fine sandpaper or a sandpaper sponge to remove more stubborn marks and unwanted ridges.

3.2. Surface preparation (inspection):

Visually inspect all wall lime-plastered surfaces and identify areas that require repair, such as Plaster cracks, hollow plaster, and damaged areas.

3.3. Damaged or chipped decorative lime plaster:

Open the damaged area sufficiently to allow the repair material to be adequately filled to achieve a mechanical bond. Clean away dust, grease, and grime from the surface. Fill areas with a lime-based patching plaster using a putty knife or trowel. Smooth off while still wet. Allow to dry according to manufacturer instructions. The texture on repaired areas must be finished to match the existing profile.

3.4. Substrate condition and moisture content:

Ensure surfaces are clean, dry, and sound. The moisture content must be no more than the required amount for heritage lime plaster.

3.5. Full primer coat:

Apply one full coat of Plascon Professional Damp Plaster Paint White, or equivalent, diluted 10% with Mineral Turpentine and allow to dry for 16 hours.

Apply three coats of Plascon Professional Bridging Compound, or equivalent, at a wet film thickness of 650µm per coat to achieve the recommended dry film thickness of 1000µm. Apply each new layer in a 90° direction to the previous layer. Smooth off with a water-wet brush while still wet. Allow 4 hours of drying at 23°C between coats. Longer drying and curing times must be observed in colder and damper environments.

Paint finish to match existing.

Where Professional Bridging Compound, or equivalent, is used, moisture levels above 8% on plaster surfaces might adversely affect paint performance, negating the evaporation abilities of the bridging compound coating system.

3.6. Fishing coat:

Apply two coats of Professional Damp Plaster Paint, or equivalent, to achieve complete obliteration. Allow 16 hours for the paint to dry.

- 4. Repair and repainting of wall:** The decorative plaster will be inspected for damage. Damaged areas will be repaired and repainted to match the existing ones. The existing plaster in other areas is in sound condition, but further assessment will be required to identify whether the plaster is a cement or lime-based mix.

4.1. Surface preparation (cleaning):

Brush down the wall to remove dust, cobwebs, and dirt. The walls are then washed with a wet sponge to remove grime and grease from the surfaces. The cleaned walls must be left to dry. Use fine sandpaper or a sandpaper sponge to remove more stubborn marks and unwanted ridges.

4.2. Surface preparation (inspection):

Visually inspect all wall lime-plastered surfaces and identify areas that require repair, such as Plaster cracks, hollow plaster, and damaged areas.

4.3. Damaged or chipped decorative lime plaster:

Open the damaged area sufficiently to allow the repair material to be adequately filled to achieve a mechanical bond. Clean away dust, grease, and grime from the surface. Fill areas with a lime-based patching plaster using a putty knife or trowel. Smooth off while still wet. Allow to dry according to manufacturer instructions. The texture on repaired areas must be finished to match the existing profile.

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4.6. Fishing coat:

Apply two coats of Professional Damp Plaster Paint, or equivalent, to achieve complete obliteration. Allow 16 hours for the paint to dry.

- 5. Ceiling:** Existing suspended ceiling to be renovated. New lighting to be installed per Electrical engineers' specifications and details. The ceiling is to be repainted after the installation of the new lighting.

Install New Lighting: Lighting will be integrated per the electrical engineer's details. Existing lighting positions to be upgraded and installed as per electrical engineers' specifications.

5.1. Repainting suspended ceiling: Existing ceiling is to be cleaned, sound and dry before repainting the surface with Plascon One Coat Ceiling Paint, WHITE, or equivalent.

Surface Preparation: Wash of dirt and grease thoroughly with Polycell Sugar Soap Powder, or equivalent. Rinse thoroughly with clean water and allow to dry. Sand glossy areas to a uniform matt surface and apply Plascon Universal Undercoat, or equivalent.

Paint application: apply Plascon One Coat Ceiling Paint generously by brush or roller to the ceiling surface to achieve complete obliteration. If a second coat is needed, allow the first coat to dry for at least two hours. Paint to be applied in strict accordance to manufacturer's instructions.

- 6. New access-controlled swing gate:** A new security gate for access control to be operated by Iziko staff. Emergency release in case of evacuation, to be installed according to the manufacturers' details and specifications. Location as indicated on drawing.

7. **New Glass panel:** New fixed steel framed 8mm safety glass panel to fit in existing timber framed doorway as indicated on drawing.
8. **New Electrical:** The existing electrical feed will be reused in a new design for the reception desk as indicated on drawing per the electrical engineers specification and detail.
9. **New Glassdoor:** New lockable glass door in custom steel frame to be installed by new enclosed reception area according to manufacturer's specifications.
10. **New reception desk:** a new purpose made, steel frame enclosed reception desk is to be constructed as depicted in Architectural joinery drawings and fished per Architectural specifications.

10.1. Column detail 01 board fixing:

25 x 25 x 2,5 mm equal angle grade mild steel beam bolted

25 x 25 x 2,5 mm equal angle grade mild steel column bolted

50 x 5 mm flat mild steel bar

50 x 50 x 5 mm equal angle grade mild steel column galvanized to steel flat bar

Note: All steel to be powder-coated. All internal and external powder coating to comply with qualicoat® class 3 or sans 1796 and 1578, RAL 7037 DUSTY GREY, 30 years, applied by an appointed approved applicator for coating application.

20 mm Eezi Quartz Counter Solutions or equivalent, CHARCOAL GREY, fixed to steel framing with seamless nail.

20 mm Eezi Quartz Counter Solutions or equivalent, NOBLE WHITE, fixed to steel framing with seamless nail.

10.2. Column detail 02 board fixing:

40 x 40 x 4 mm equal angle grade mild steel column galvanized to steel flat bar.

25 x 25 x 2,5 mm equal angle grade mild steel column bolted.

25 x 25 x 2,5 mm equal angle grade mild steel beam.

50 x 5 mm flat mild steel bar.

Note: All steel to be powder-coated. All internal and external powder coating to comply with qualicoat® class 3 or sans 1796 and 1578, RAL 7037 DUSTY GREY, 30 years, applied by an appointed approved applicator for coating application.

20 mm Eezi Quartz Counter Solutions or equivalent, NOBLE WHITE, fixed to steel framing with seamless nail.

10.3. Column detail 03 glass fixing:

25 x 25 x 2,5 mm equal angle grade mild steel column bolted.

50 x 50 x 5 mm equal angle grade mild steel column galvanized to steel flat bar.

Note: All steel to be powder-coated. All internal and external powder coating to comply with qualicoat® class 3 or sans 1796 and 1578, RAL 7037 DUSTY GREY, 30 years, applied by an appointed approved applicator for coating application.

8 mm safety glass fixed to steel framing.

10.3. Column detail 04 glass fixing:

40 x 40 x 4 mm equal angle grade mild steel column galvanized to steel flat bar.

25 x 25 x 2,5 mm equal angle grade mild steel column bolted.

25 x 25 x 2,5 mm equal angle grade mild steel beam bolted.

Note: All steel to be powder-coated. All internal and external powder coating to comply with qualicoat® class 3 or sans 1796 and 1578, RAL 7037 DUSTY GREY, 30 years, applied by an appointed approved applicator for coating application.

8 mm safety glass fixed to steel framing.

10.4. Detailed section 1:

2 mm custom steel Reception/ Enter / Exit signage plate in Iziko Font galvanized to 3mm flat mild steel plate fixed to the existing timber frame of fanlight transom windows with seamless nail as indicated on drawing.

2 mm custom steel Iziko Logo signage in Iziko Font plate fixed to timber boarding of the new reception desk as indicated by drawing.

50 x 3 mm flat mild steel bar.

40 x 40 x 4 mm equal angle grade mild steel column galvanized to steel flat bar.

25 x 25 x 2,5 mm equal angle grade mild steel beam bolted.

50 x 5 mm flat mild steel bar.

Note: All steel to be powder-coated. All internal and external powder coating to comply with qualicoat® class 3 or sans 1796 and 1578, RAL 7037 DUSTY GREY, 30 years, applied by an appointed approved applicator for coating application.

8 mm safety glass fixed to steel framing.

10.4. Detailed section 2:

Acoustic canvas ceiling material as per manufacturer's specification.

50 x 50 x 5 mm equal angle grade mild steel beam galvanized to steel flat bar.

25 x 25 x 2,5 mm equal angle grade mild steel beam bolted.

50 x 50 x 5 mm equal angle grade mild steel column galvanized to steel flat bar.

50 x 5 mm flat mild steel bar.

Note: All steel to be powder-coated. All internal and external powder coating to comply with qualicoat® class 3 or sans 1796 and 1578, RAL 7037 DUSTY GREY, 30 years, applied by an appointed approved applicator for coating application.

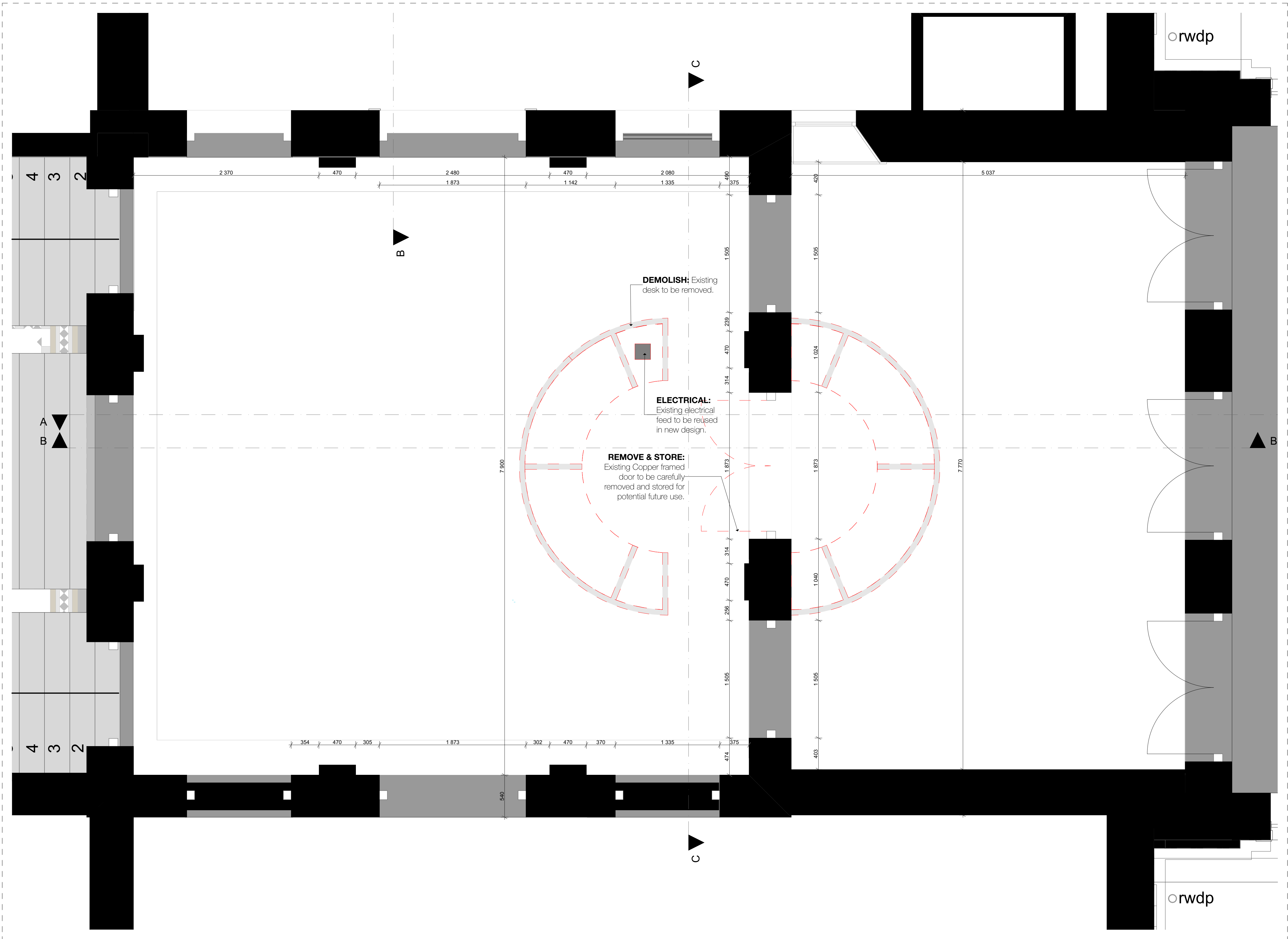
8 mm safety glass

20 mm Eezi Quartz counter solutions or equivalent, CHARCOAL GREY, fixed to steel framing with seamless nail.

20 mm Eezi Quartz Counter Solutions or equivalent, NOBLE WHITE, fixed to steel framing with seamless nail.

FOYER RENOVATION

Demolition Floor Plan 1:25



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 5. ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION.
 6. ALL INTERNAL AND EXTERNAL POWDER COATING TO BE IN COMPLIANCE TO QUALICOAT® CLASS 3 OR SANS 1786 AND 1578, RAL 7037 Dusty Grey, 30 YEARS, APPLIED BY AN APPOINTED APPROVED APPLICATOR FOR COATING APPLICATION.
 7. ALL FINISHES TO BE CONFIRMED.

RevID	CHD	Change Description	Date	IssID

Owner:

Date:

Architect:

Date:

Engineer

Date:

OSMOND LANGE

ARCHITECTS & PLANNERS

Osmond Lange

Architects and Planners

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PROJECT:
ISAM 2025: Foyer and Bathroom upgrade
Changes and additions to existing foyer and bathrooms
FOR Iziko Museums of South Africa
ON ERF: 95137
Queen Victoria Street, Cape Town

DRAWING TITLE:
Demolition Plan

BUILDING CLASSIFICATION		CLIMATIC ZONE	
-		-	
RESPONSIBLE PERSON		DATE	APPROVED
DESIGN	BL	2024/12/04	
DRAWN	BL		

FOR TENDER

DRAWING PATH
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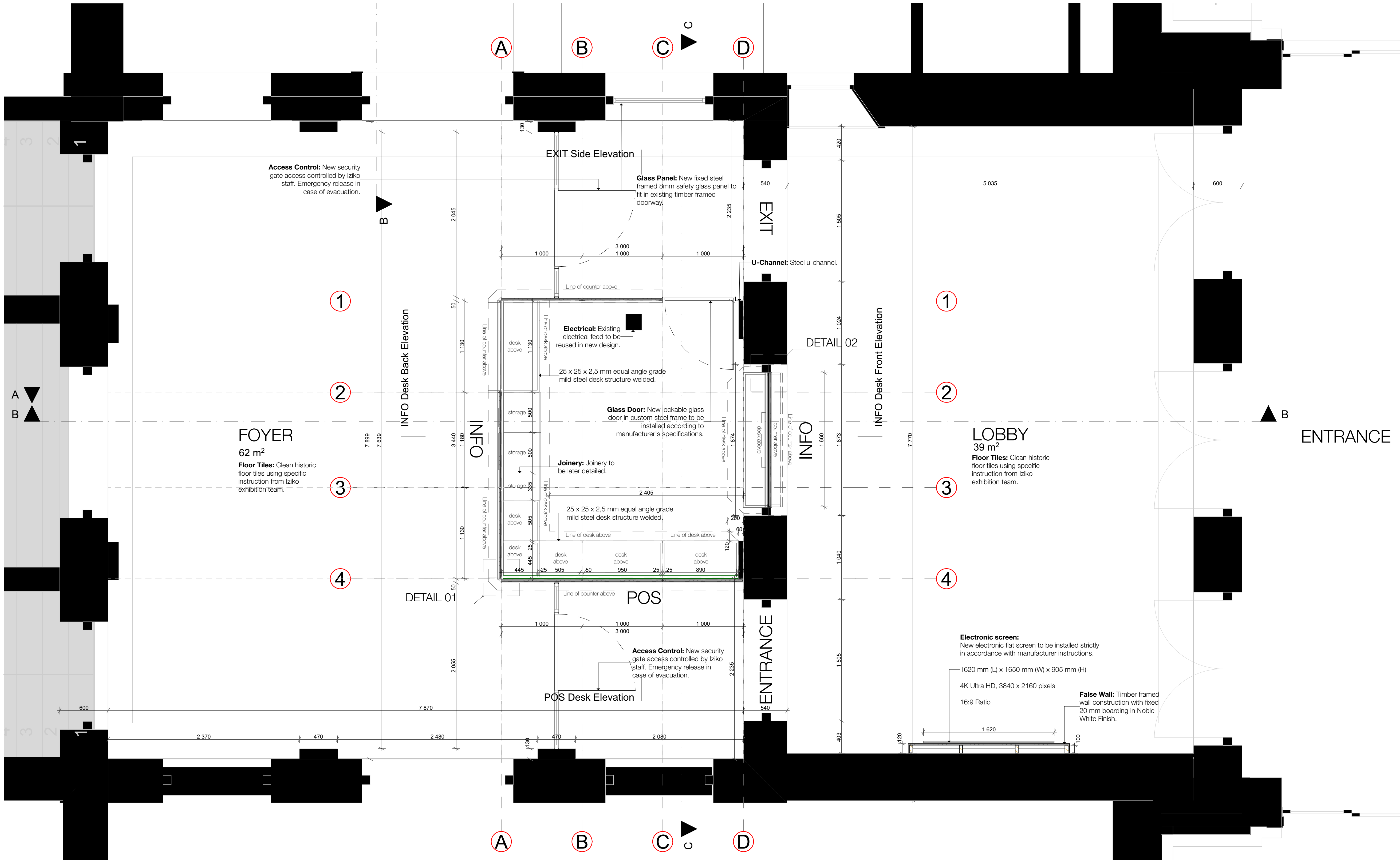
SCALE
1:25

SHEET SIZE
A1

PROJECT No.	DRAWING NUMBER	REVISION
220233	F-1100	02

FOYER RENOVATION

Ground Floor Plan 1:25



0. Ground Floor 1:25

GENERAL NOTES:

ALL STEEL TO BE POWDER COATED.
ALL INTERNAL AND EXTERNAL POWDER COATING TO BE IN COMPLIANCE TO QUALICOAT® CLASS 3 OR SANS 1796 AND 1578, RAL 7037 Dusty Grey, 30 YEARS, APPLIED BY AN APPOINTED APPROVED APPLICATOR FOR COATING APPLICATION.

ALL INTERNAL FINISHES TO BE CONFIRMED.

Finishing Schedule	Total Area (in m²)
Floor Tiles: Spec as per architectural specification document.	101 m²
Wall Repainting: Spec as per architectural specification document.	260 m²
Ceiling Repainting: Spec as per architectural specification document.	80 m²

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 - ALL FINISHES TO BE CONFIRMED.

RevID	CHD	Change Description	Date	IssID

Owner:

Date:

Architect:

Date:

Engineer

Date:



Osmond Lange Architects and Planners (Pty) Ltd

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Fax: +27 (0) 21 948 3455

PROJECT:
ISAM 2025: Foyer and Bathroom upgrade
Changes and additions to existing foyer and bathrooms
FOR Iziko Museums of South Africa
ON ERP: 95137
Queen Victoria Street, Cape Town

DRAWING TITLE:
Floor Plans

BUILDING CLASSIFICATION		CLIMATIC ZONE	
		-	
	RESPONSIBLE PERSON	DATE	APPROVED
DESIGN	BL	2024/12/04	
DRAWN	BL		
FOR TENDER			
DRAWING PATH			
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SCALE		SHEET SIZE	
1:25		A1	
PROJECT No.	DRAWING NUMBER	REVISION	
220233	F-2100	02	

Counter Plan 1:25

Counter Plan 1:25



Counter Plan: Above Desk

1:25

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AND 1578, RAL 7037 Dusty Grey, 30 YEARS, APPLIED BY AN
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APPLICATION.

ALL INTERNAL FINISHES TO BE CONFIRMED.

Finishing Schedule	Total Area (in m ²)
Floor Tiles: Spec as per architectural specification document.	101 m ²
Wall Repainting: Spec as per architectural specification document.	260 m ²
Ceiling Repainting: Spec as per architectural specification document.	80 m ²

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7. ALL FINISHES TO BE CONFIRMED.

[illegible]

Date:

Architect:

Date:

Engineer

Date:



PROJECT:
ISAM 2025: Foyer and Bathroom upgrade
Changes and additions to existing foyer and bathrooms
FOR Iziko Museums of South Africa
ON ERF: 95137
Queen Victoria Street, Cape Town

DRAWING TITLE:
Counter Plan

BUILDING CLASSIFICATION		CLIMATIC ZONE	
-		-	
	RESPONSIBLE PERSON	DATE	APPROVED
DESIGN	BL	2024/12/04	
DRAWN	BL		

FOR TENDER

DRAWING PATH
 U:\Users\beal@berng\Documents\OLA 2024\01 PROJECT\2. IZIKO\2. ISAM
 UPGRADE\200 Production\210 Drawing\211 Current\DESK QUERY\220233 IZiko ISAM
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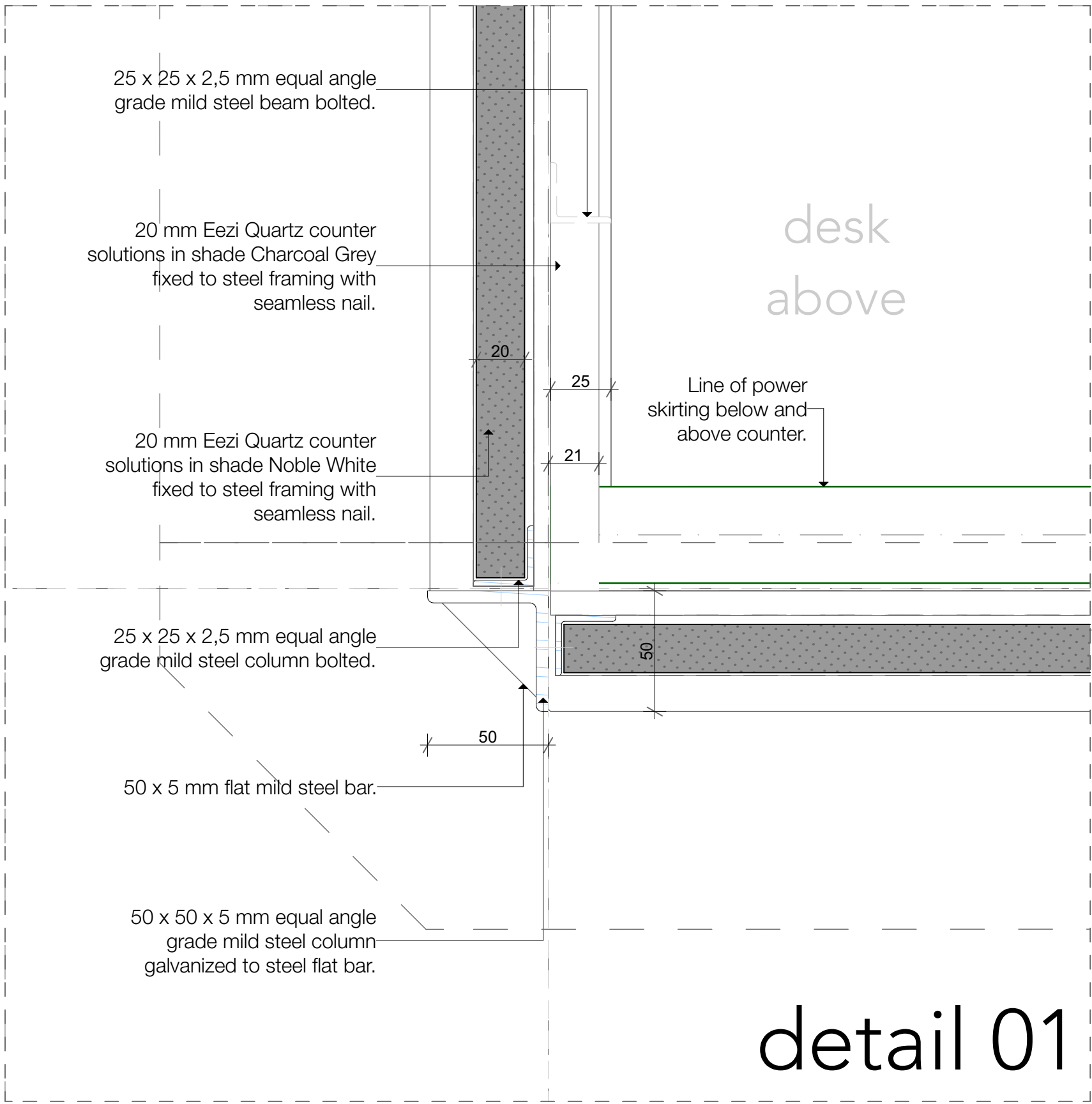
SCALE 1:25	SHEET SIZE A1
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PROJECT NO. 220233	DRAWING NUMBER F-3100	REVISION 02
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DRAWING PATH
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UPGRADE/200 Production/210 Drawing/211 Current/DESK QUERY/220233 Iziko ISAM
Foyer upgrade OPTION 2.pln

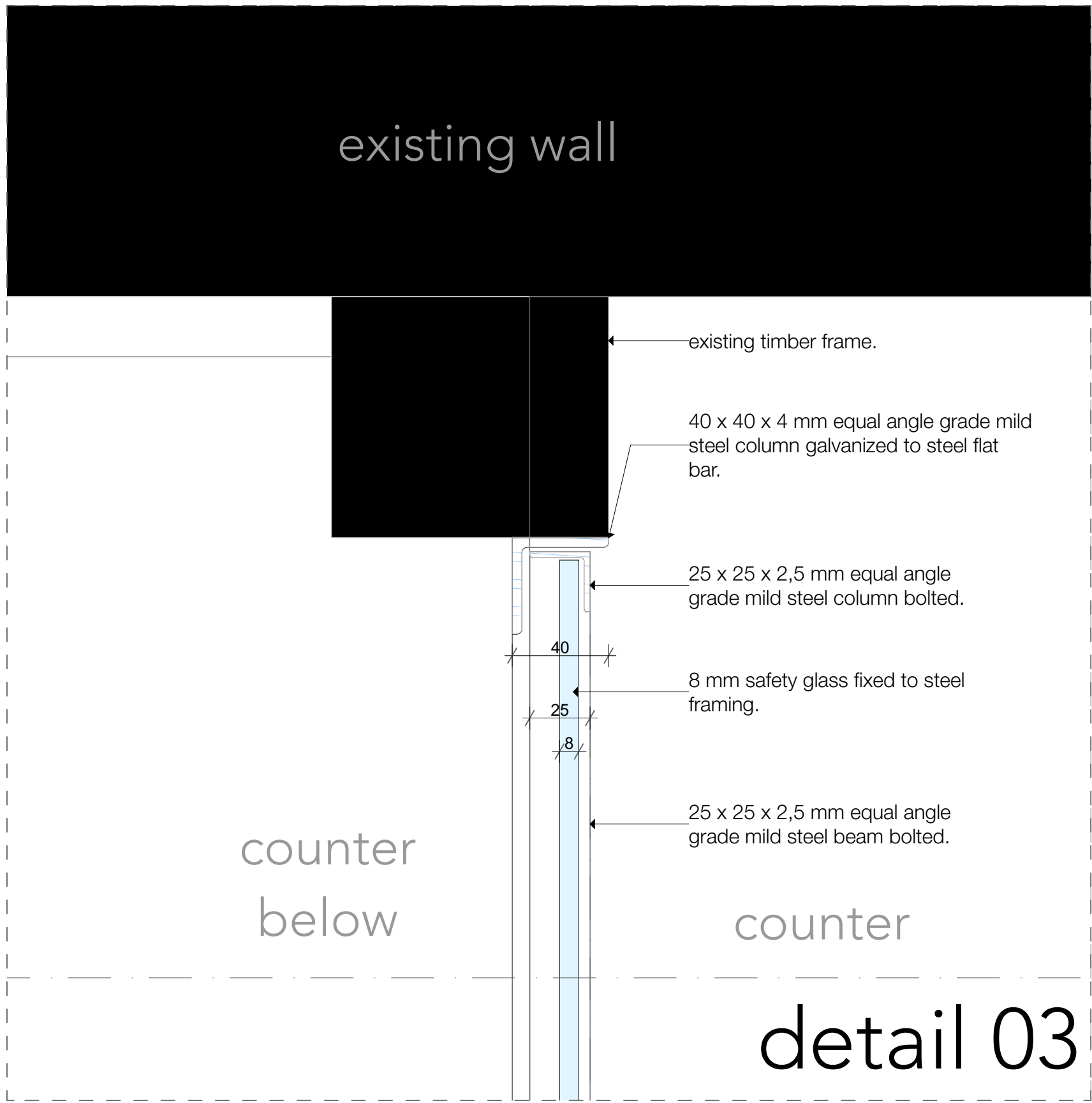
FOYER RENOVATION

Details 1:2



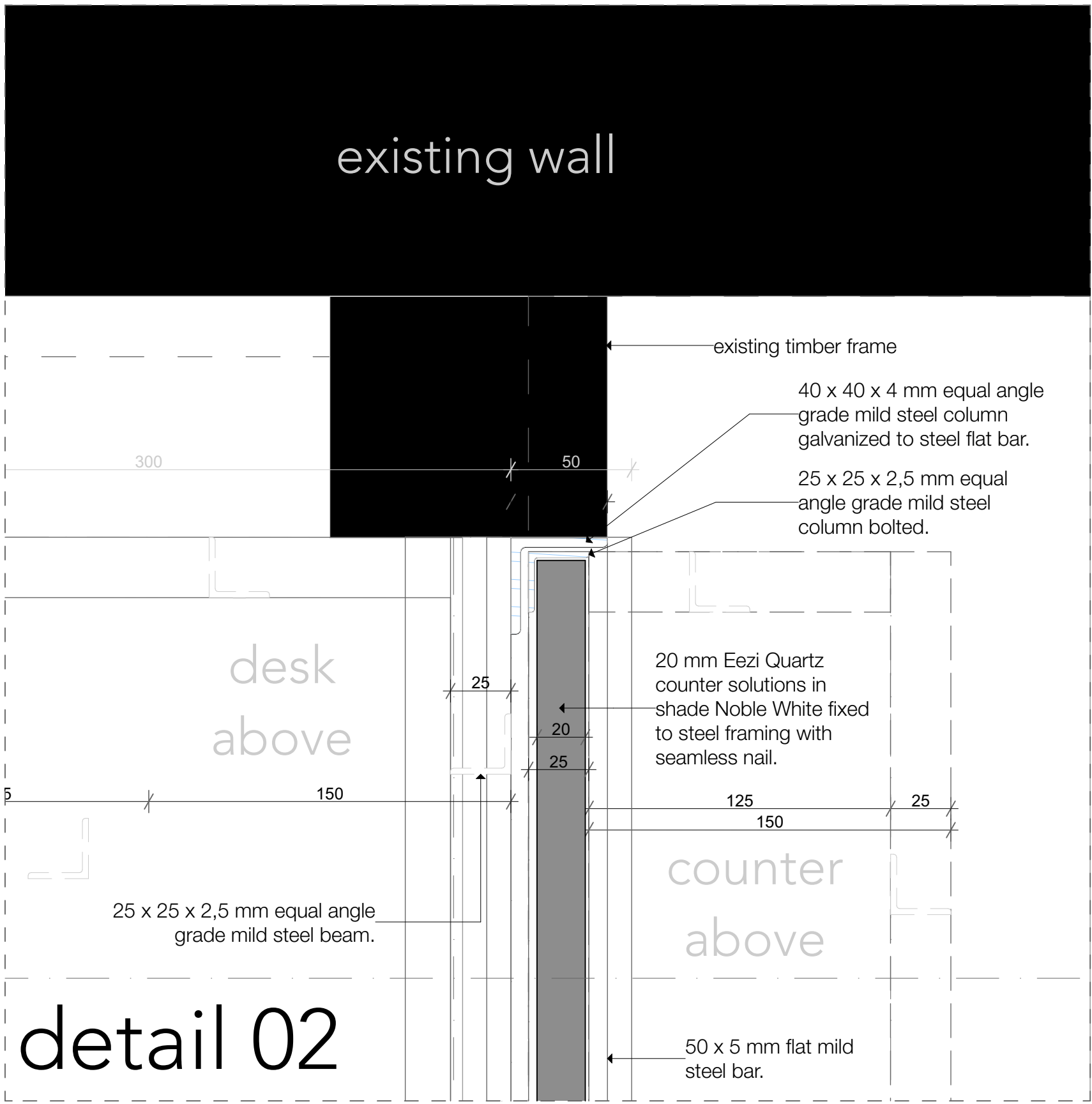
COLUMN DETAIL 01 | BOARD FIXING

1:2



COLUMN DETAIL 03 | GLASS FIXING

1:2



COLUMN DETAIL 02 | BOARD FIXING

1:2

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RevID	CHD	Change Description	Date	Issd

Owner:

Date:

Architect:

Date:

Engineer

Date:

OL

OSMOND LANGE
ARCHITECTS & PLANNERS

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Fax: +27 (0) 21 948 3455

PROJECT:
ISAM 2025: Foyer and Bathroom upgrade
Changes and additions to existing foyer and bathrooms
FOR
ON Iziko Museums of South Africa
ERF: 95137
Queen Victoria Street, Cape Town

DRAWING TITLE:
Details

BUILDING CLASSIFICATION		CLIMATIC ZONE	
-		-	
RESPONSIBLE PERSON		DATE	APPROVED
DESIGN	BL	2024/12/04	
DRAWN	BL		

FOR TENDER

DRAWING PATH
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UPGRADE\200 Production\210 Drawing\211 Current\DESK QUERY\220233 Iziko ISAM
Foyer upgrade OPT\CON 2.pln

SCALE
1:2

SHEET SIZE
A1

PROJECT No.	DRAWING NUMBER	REVISION
220233	F-4100	02

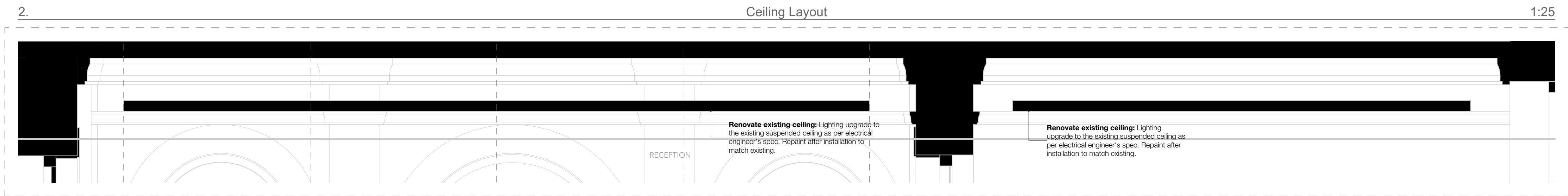
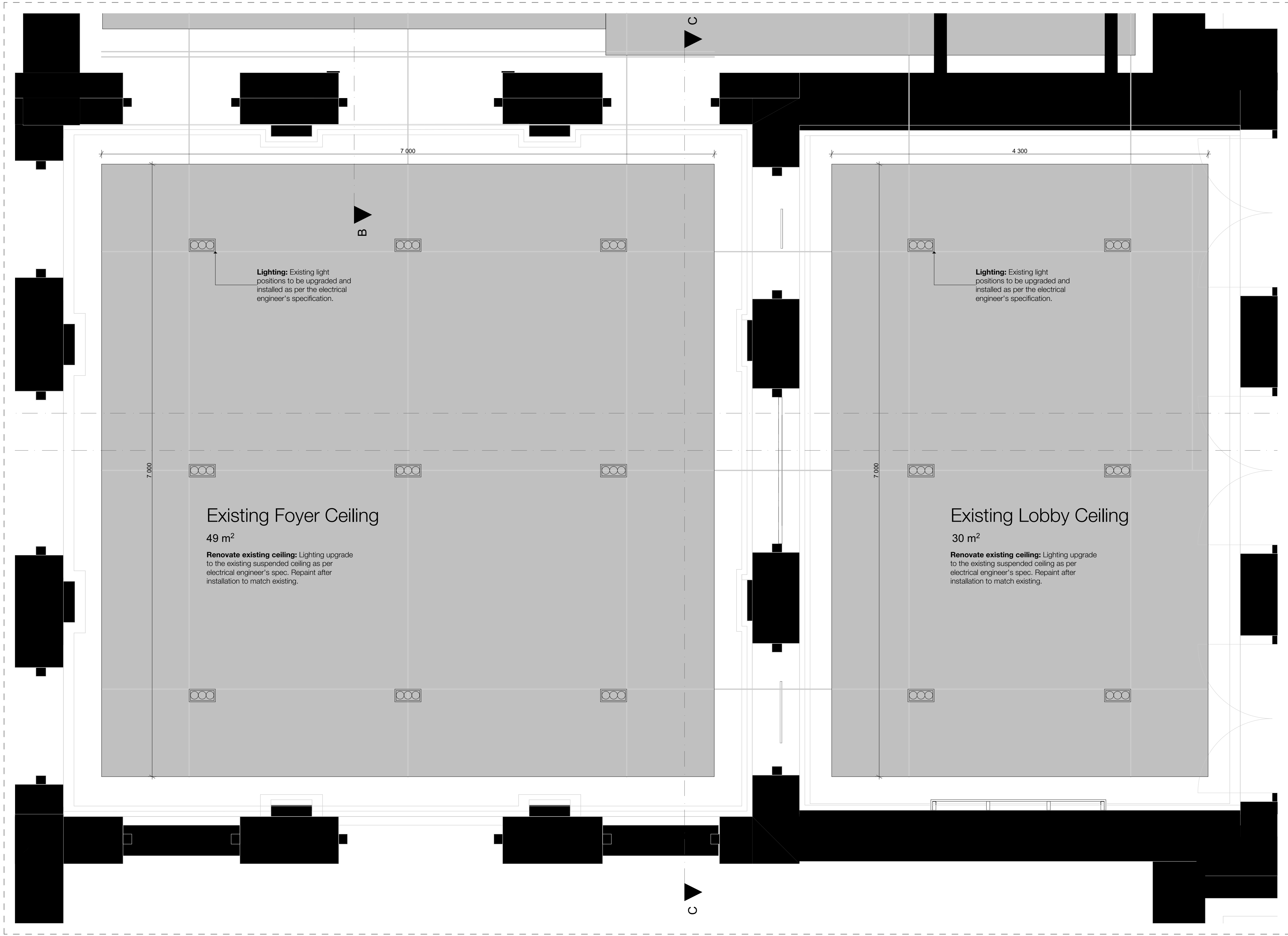
GENERAL NOTES:

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FOYER RENOVATION

Ceiling design 1:25



Finishing Schedule	Total Area (in m²)
Floor Tiles: Spec as per architectural specification document.	101 m²
Wall Repainting: Spec as per architectural specification document.	260 m²
Ceiling Repainting: Spec as per architectural specification document.	80 m²

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Owner:

Date:

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Date:

Engineer

Date:

OSMOND LANGE

ARCHITECTS & PLANNERS

Osmond Lange
Architects and Planners
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PROJECT:
ISAM 2025: Foyer and Bathroom upgrade
Changes and additions to existing foyer and bathrooms
FOR Iziko Museums of South Africa
ON ERF: 95137
Queen Victoria Street, Cape Town

DRAWING TITLE:
Ceiling Plan

BUILDING CLASSIFICATION		CLIMATIC ZONE	
-		-	
	RESPONSIBLE PERSON	DATE	APPROVED
DESIGN	BL	2024/12/04	
DRAWN	BL		

FOR TENDER

DRAWING PATH
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UPGRADE\200 Production\210 Drawing\211 Current\DESK QUERY\220233 Iziko ISAM
Foyer upgrade OPT\ON 2.pln

SCALE
1:25

SHEET SIZE
A1

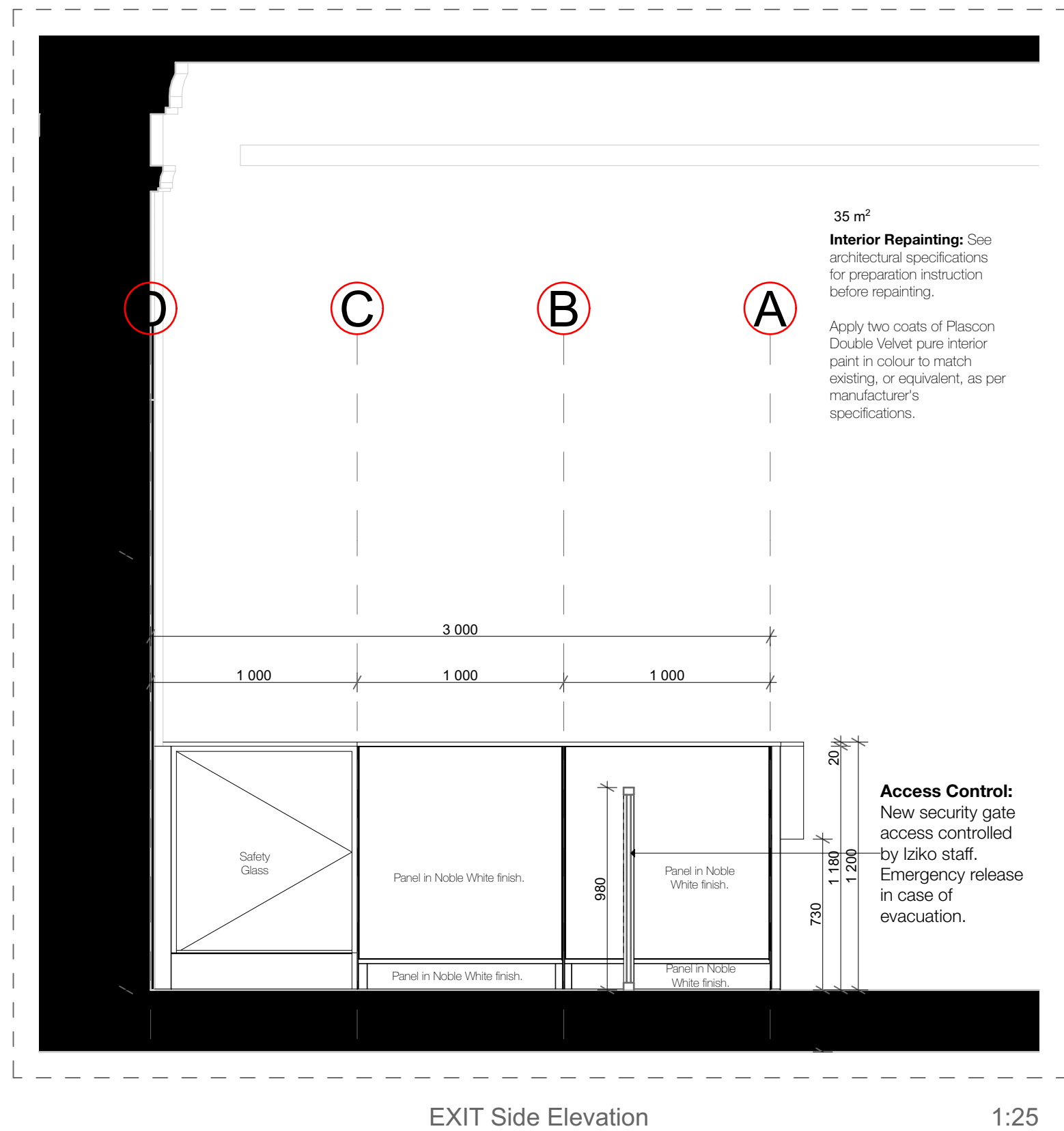
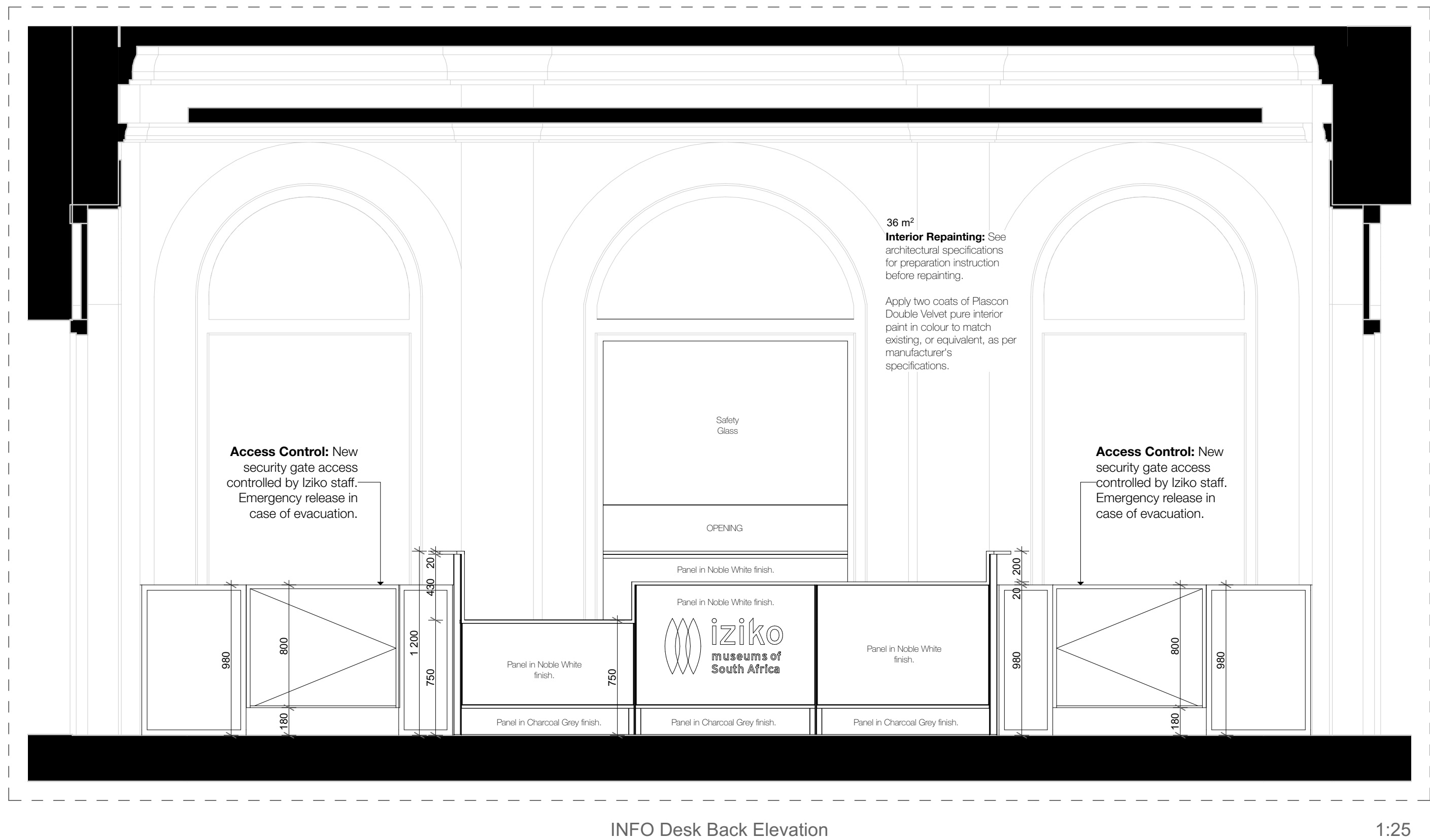
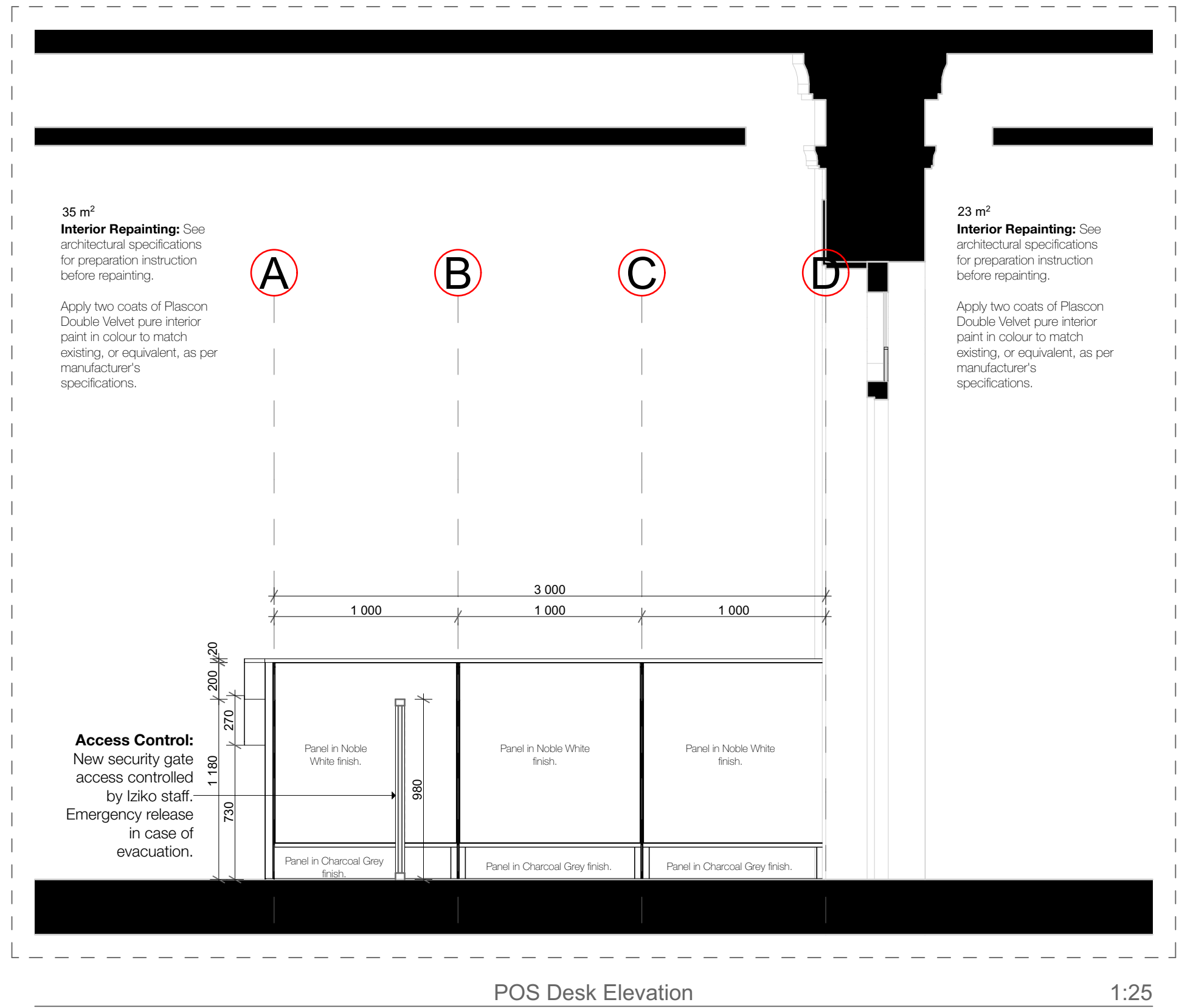
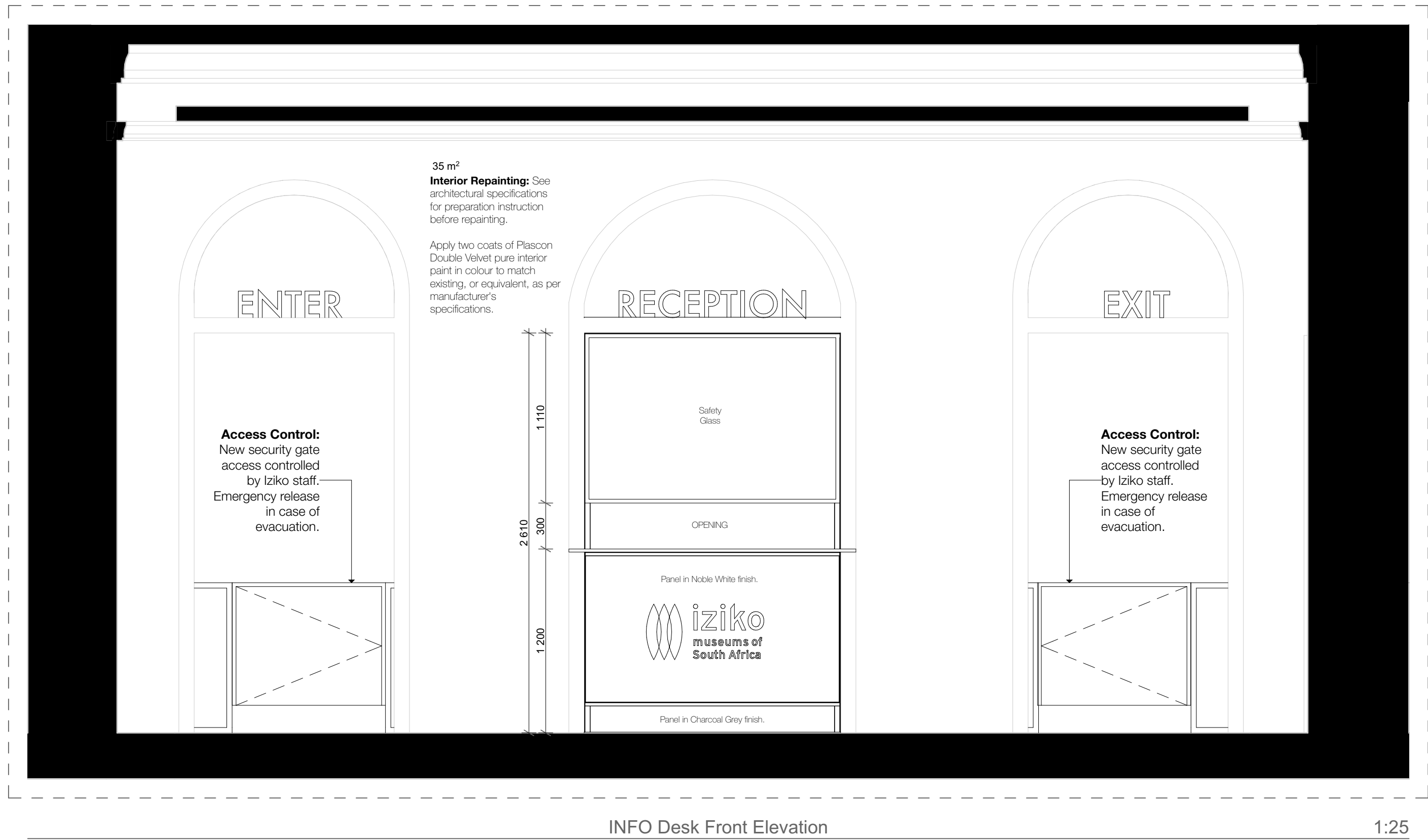
PROJECT No.
220233

DRAWING NUMBER
F-5100

REVISION
02

FOYER RENOVATION

Elevations 1:25



GENERAL NOTES:

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Engineer

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**Osmond Lange
Architects and Planners
(Pty) Ltd**

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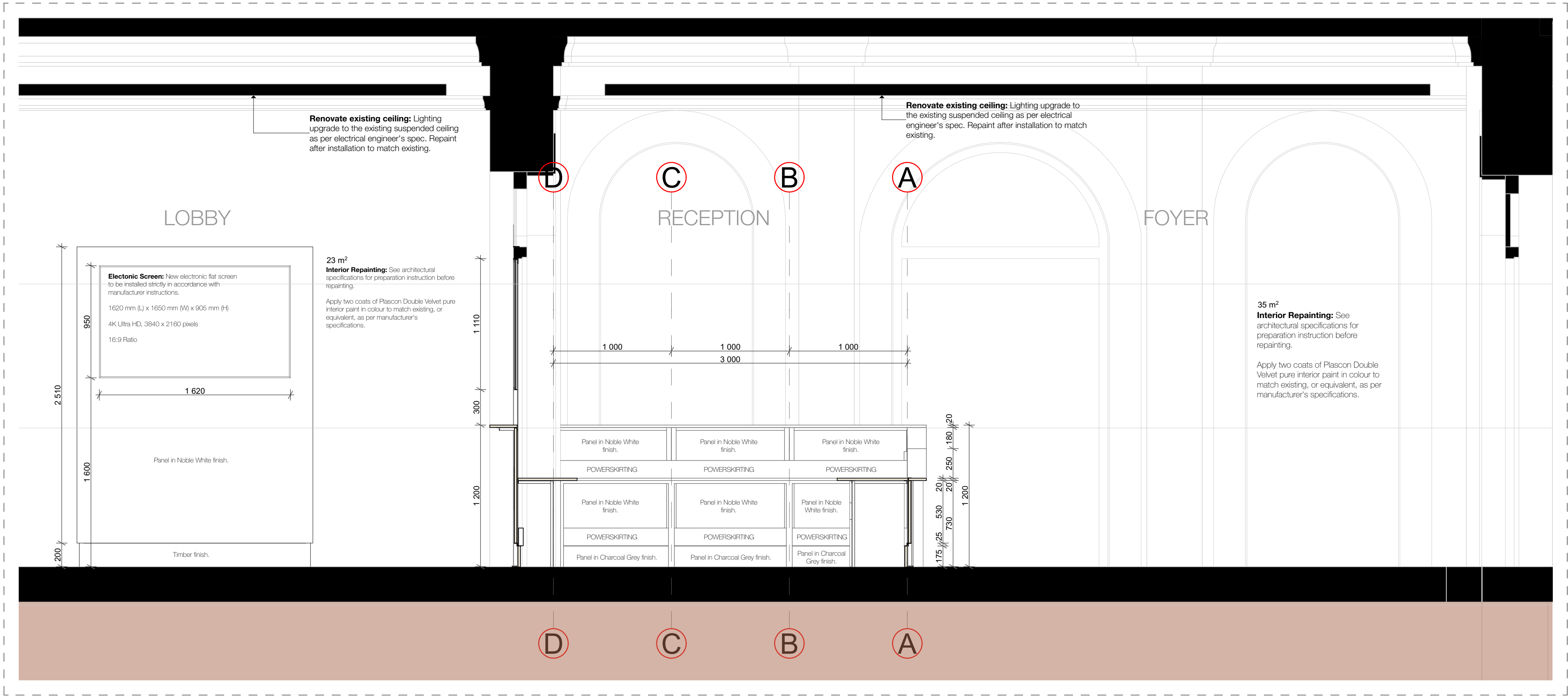
PROJECT:
ISAM 2025: Foyer and Bathroom upgrade
Changes and additions to existing foyer and bathrooms
FOR Iziko Museums of South Africa
ON ER: 95137
Queen Victoria Street, Cape Town

DRAWING TITLE:
Elevations

BUILDING CLASSIFICATION		CLIMATIC ZONE	
-		-	
	RESPONSIBLE PERSON	DATE	APPROVED
DESIGN	BL	2024/12/04	
DRAWN	BL		
FOR TENDER			
DRAWING PATH \\Users\hnelberger\Documents\OLA 2024\01 PROJECTS\2. IZIKO\2. ISAM UPGRADE\250 Production\210 Drawing\211 Current\DESK QUERY\220233 Iziko ISAM Foyer upgrade OPT\IGN 2.pln			
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PROJECT No. 220233	DRAWING NUMBER F-6100		REVISION 02

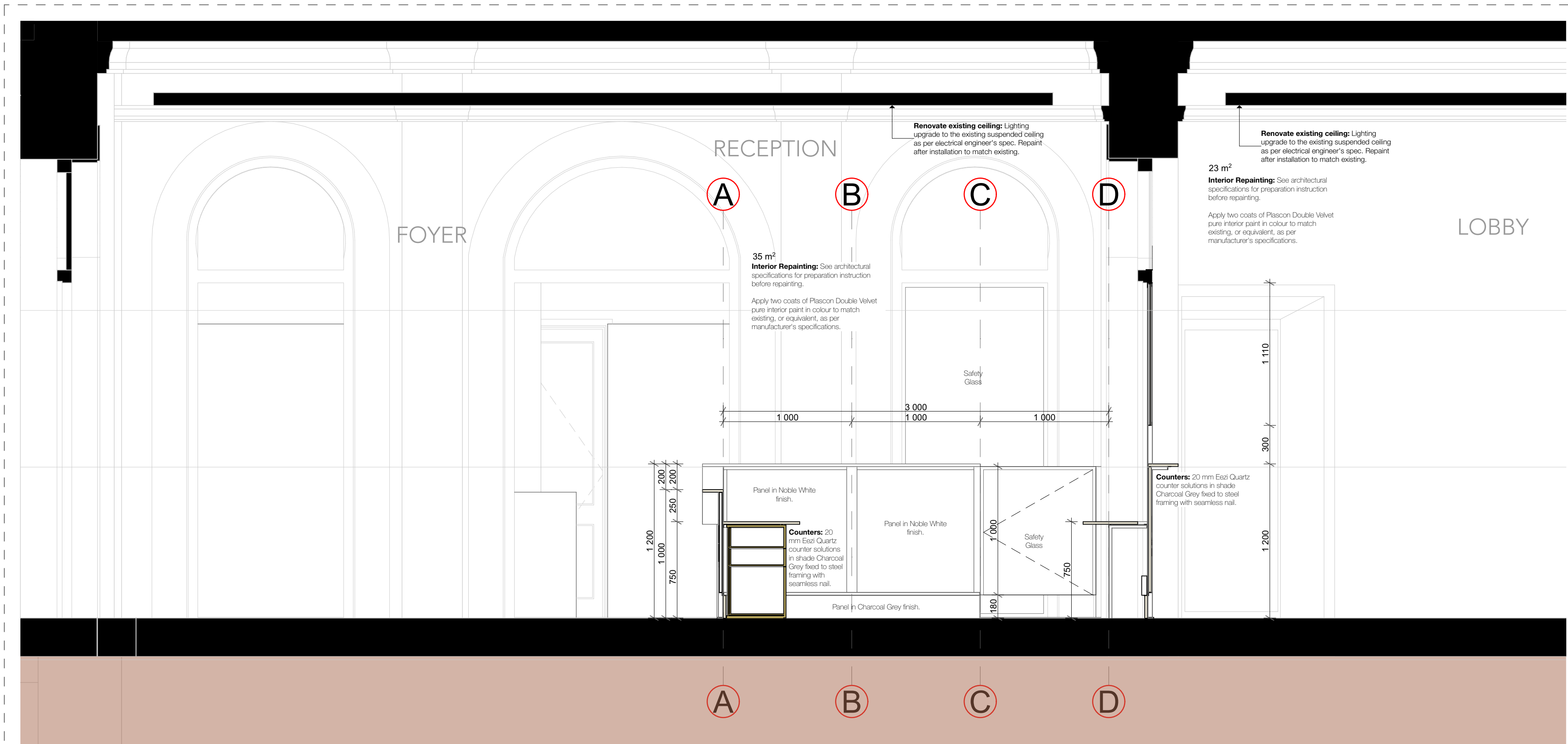
FOYER RENOVATION

Elevations 1:25



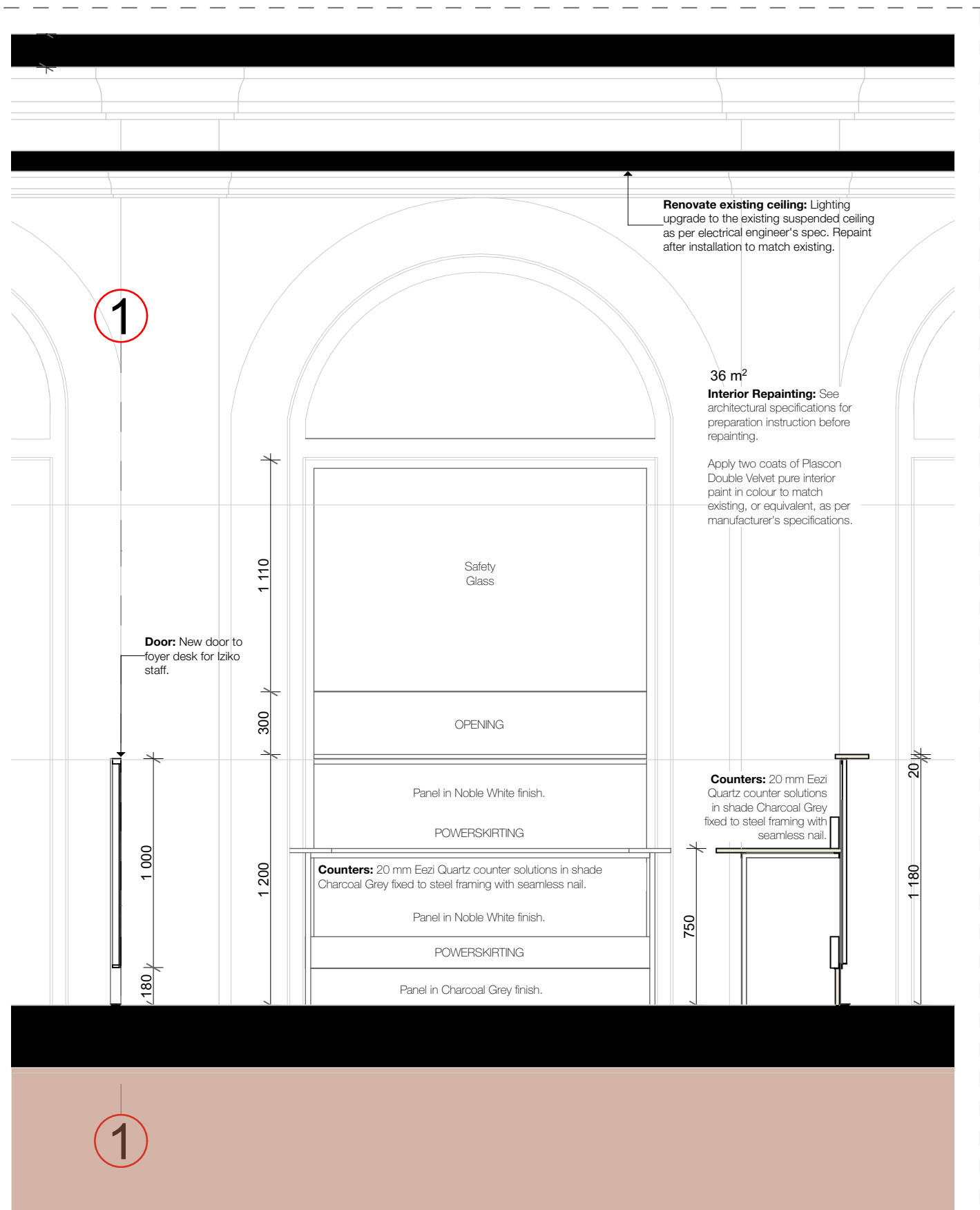
SECTION A

1:25



SECTION B

1:25



SECTION C

1:25

GENERAL NOTES:

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Engineer

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PROJECT:
ISAM 2025: Foyer and Bathroom upgrade
Changes and additions to existing foyer and bathrooms
FOR Iziko Museums of South Africa
ON ERP: 95137
Queen Victoria Street, Cape Town

DRAWING TITLE:
Sections

BUILDING CLASSIFICATION		CLIMATIC ZONE	
		-	
	RESPONSIBLE PERSON	DATE	APPROVED
DESIGN	BL	2024/12/04	
DRAWN	BL		

FOR TENDER

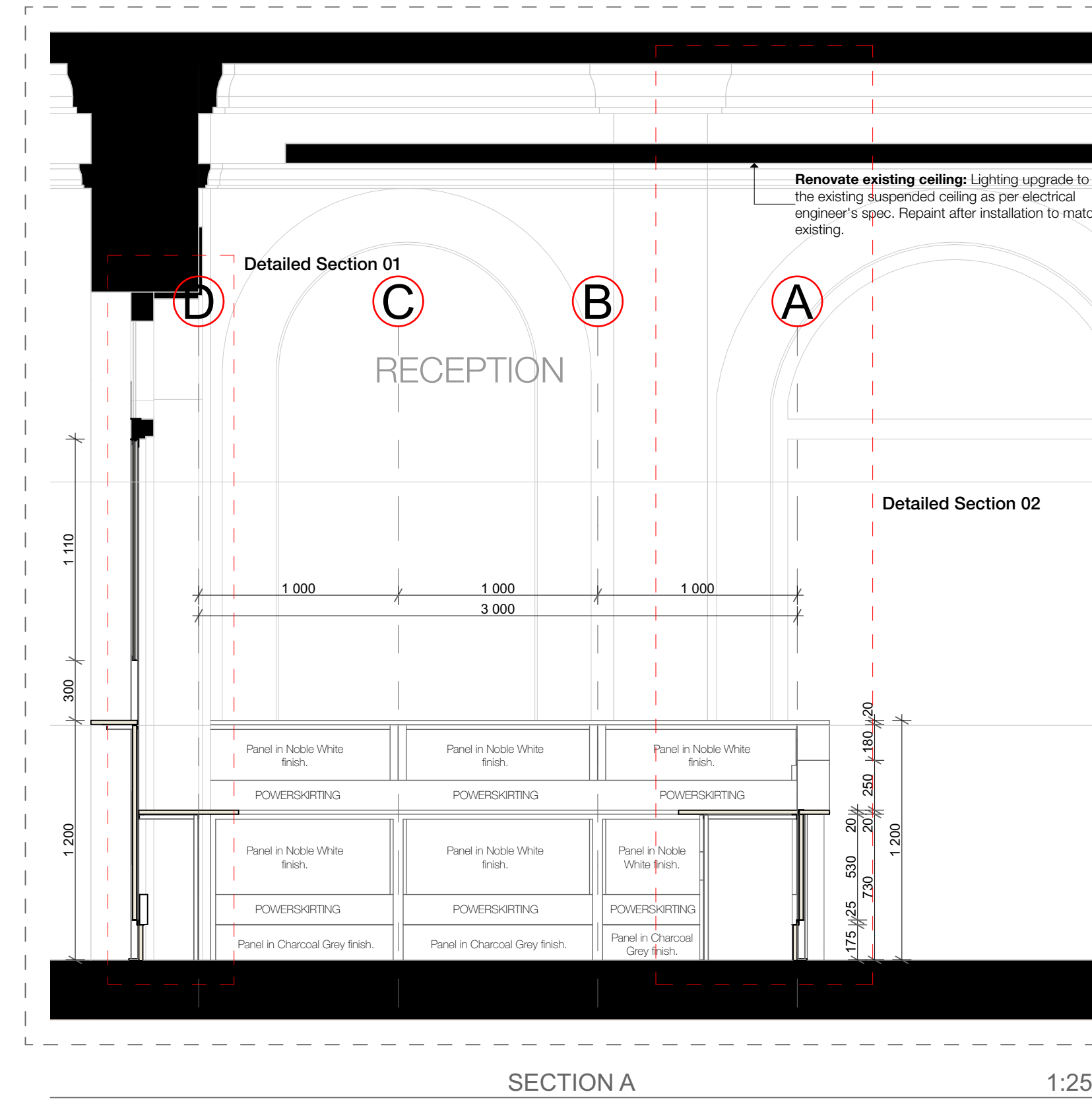
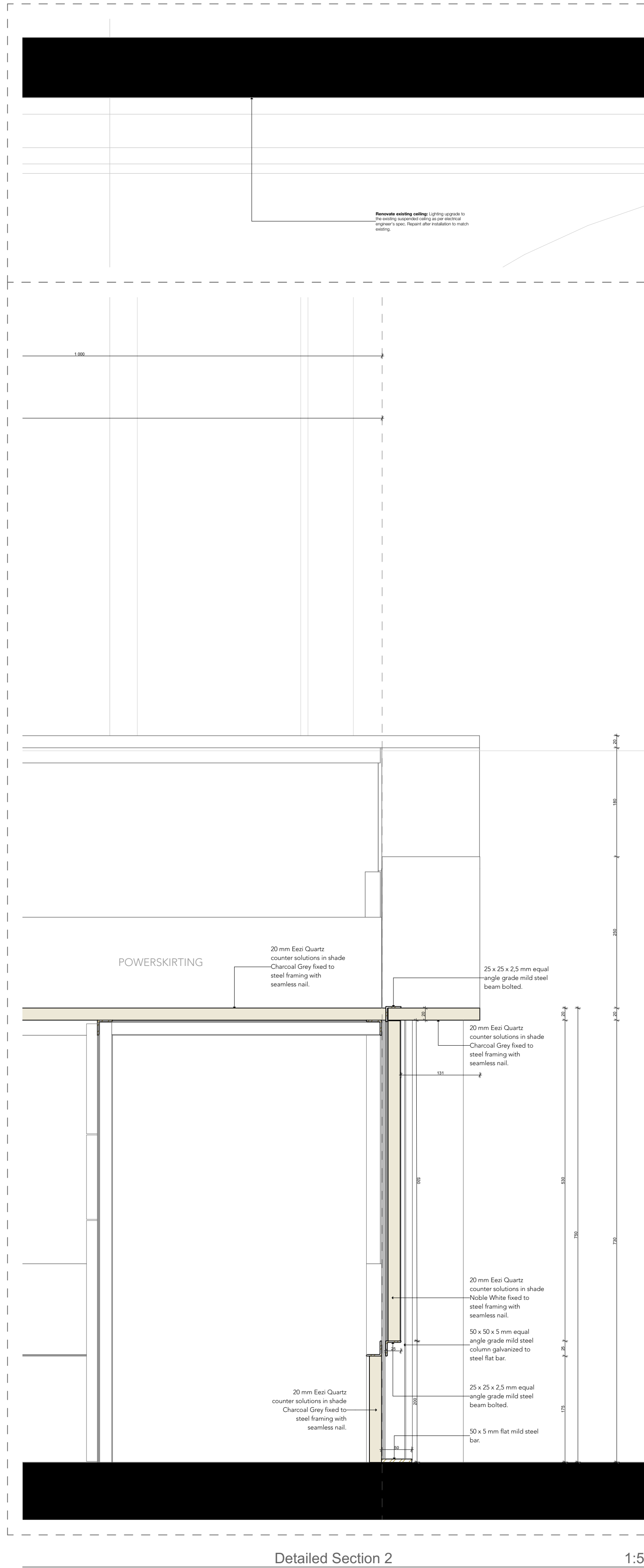
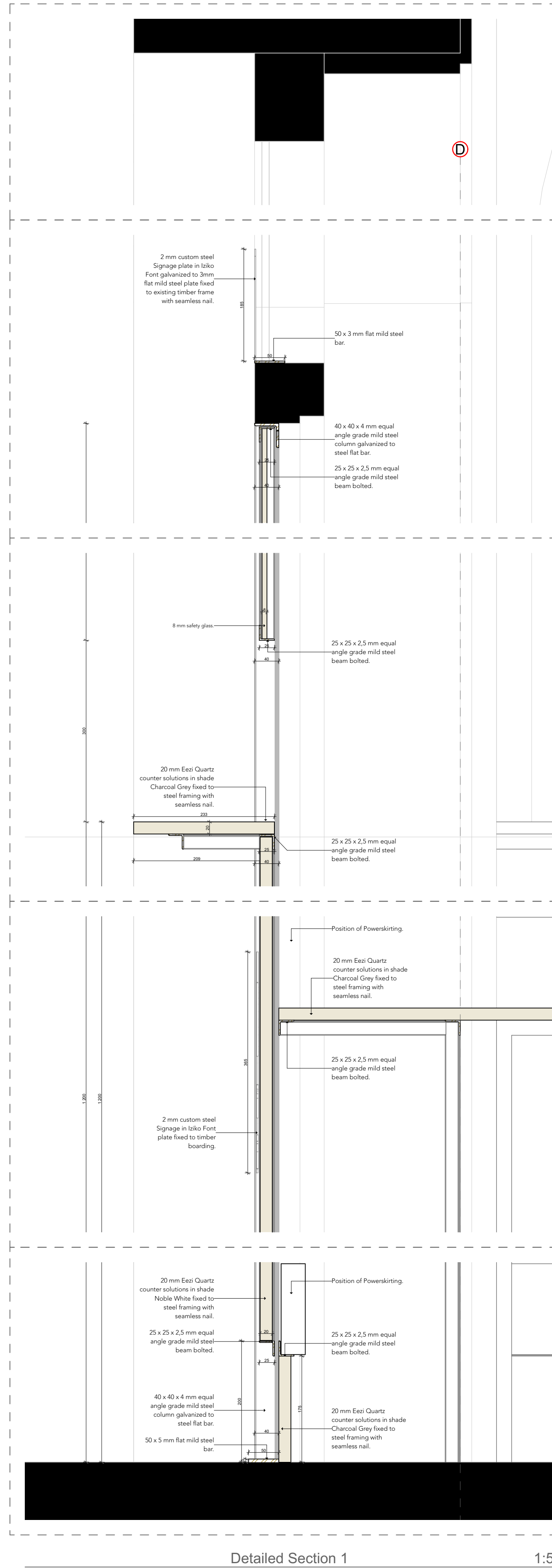
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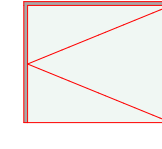
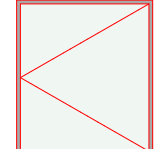
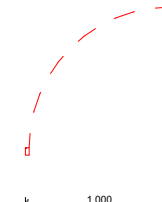
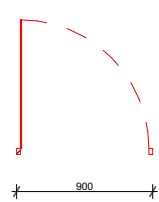
SCALE
1:25

SHEET SIZE
A1

PROJECT No.	DRAWING NUMBER	REVISION
220233	F-7100	02

Detailed Strip Sections 1:5



Foyer Renovation Door Schedule		
Element ID	D02	D02
W x H Size	1 000 x 800	900 x 1 000
Quantity	3	1
Elevation		
2D Plan Preview		
Description	New security gate access controlled by Isko staff. Emergency release in case of evacuation.	New lockable glass door in custom steel frame to be installed according to manufacturer's specifications
Frame	New glass gate to fit in custom steel framed structure.	New glass gate to fit in custom steel framed structure.
Door	8 mm safety glass door.	8 mm safety glass door.
Ironmongery	Custom.	Custom.
Finish	All steel to be powder coated. All internal and external powder coating to be in compliance to qualicoat® class 3 or sans 1796 and 1578, ral 7037 dusty grey, 30 years, applied by an appointed approved applicator for coating application.	All steel to be powder coated. All internal and external powder coating to be in compliance to qualicoat® class 3 or sans 1796 and 1578, ral 7037 dusty grey, 30 years, applied by an appointed approved applicator for coating application.

00 Foyer Window Schedule			
Element ID	W01	W02	W03
W x H Size	680x980	350x980	1 145x2 610
Quantity	2	4	1
Elevation			
2D Plan Preview			
Description	New security gate glass partition.	New security gate glass partition.	New window.
Frame	Glass to fit in custom steel framed structure.	Glass to fit in custom steel framed structure.	Glass to fit in custom steel framed structure.
Window	8 mm safety glass.	8 mm safety glass.	8 mm safety glass.
Ironmongery	Custom.	Custom.	N/A
Finish	All steel to be powder coated. All internal and external powder coating to be in compliance to qualicoat® class 3 or sams 1796 and 1578, ral 7037 dusty grey. 30 years, applied by an appointed approved applicator for coating application.	All steel to be powder coated. All internal and external powder coating to be in compliance to qualicoat® class 3 or sams 1796 and 1578, ral 7037 dusty grey. 30 years, applied by an appointed approved applicator for coating application.	All steel to be powder coated. All internal and external powder coating to be in compliance to qualicoat® class 3 or sams 1796 and 1578, ral 7037 dusty grey. 30 years, applied by an appointed approved applicator for coating application.

[illegible]

Owner:

Date:

Architect:

Date:

Engineer

Date:



PROJECT:
ISAM 2025: Foyer and Bathroom upgrade
Changes and additions to existing foyer and bathrooms
FOR Iziko Museums of South Africa
ON ERF: 95137
Queen Victoria Street, Cape Town

DRAWING TITLE:
Detailed Strip Sections

BUILDING CLASSIFICATION		CLIMATIC ZONE	
-		-	
RESPONSIBLE PERSON		DATE	APPROVED
DESIGN	BL	2024/12/04	
DRAWN	BL		
FOR TENDER			
DRAWING PATH I:\Users\kellie.bensberg\Documents\OLA 2024\01 PROJECTS\22_ IZIKO\22_ ISAM UPGRADE\200 Production\210 Drawing\211 Current\DESK QUERY\202233 Iziko ISAM User: kelle.bensberg, SECTION 2.rvt			
SCALE		SHEET SIZE	
1:5, 1:25, 1:1		A1	
PROJECT No.	DRAWING NUMBER		REVISION
220233	E-8100		02

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Foyer Renovation

3D Perspectives



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ARCHITECTS & PLANNERS

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PROJECT:
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Changes and additions to existing foyer and bathrooms
FOR
ON
Iziko Museums of South Africa
ERF: 95137
Queen Victoria Street, Cape Town

DRAWING TITLE:
3D Perspectives

BUILDING CLASSIFICATION		CLIMATIC ZONE	
-		-	
RESPONSIBLE PERSON		DATE	APPROVED
DESIGN	BL	2024/12/04	
DRAWN	BL		

FOR TENDER

DRAWING PATH
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UPGRADE/200 Production/210 Drawing/211 Current/DESK QUERY/220233 Iziko ISAM
Foyer upgrade OPTION 2.pln

SCALE
1:200, 1:100

SHEET SIZE
A1

PROJECT No.	DRAWING NUMBER	REVISION
220233	F-9100	02

LOBBY REFERENCE PHOTOS:



Ref 1



Ref 2



Ref 3



Ref 4



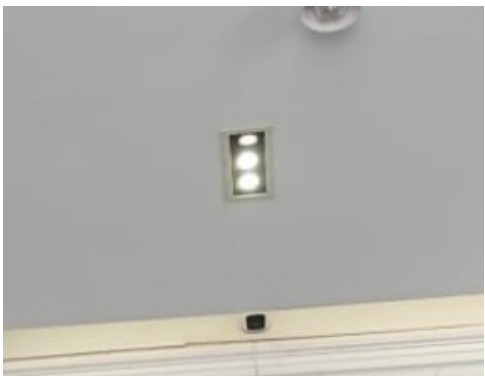
Ref 5



Ref 6



Ref 7



Ref 8

RECEPTION REFERENCE PHOTOS:



Ref 1



Ref 2



Ref 3



Ref 4



Ref 5



Ref 6



Ref 7



Ref 8