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REV.	DESCRIPTION	DATE

NOTES

**Road Accident Fund**

ROAD ACCIDENT FUND  
FACILITIES MANAGEMENT  
420 WILHELM-AVE  
ECOGRADES 2 BLOCK F  
CENTURION  
www.rafc.co.za

PRIVATE BAG X178  
CENTURION  
2004  
SOUTH AFRICA  
TELEPHONE : +27 12 621-1789  
TELEFAX : +27 12 621-1789

PROJECT TITLE

**HATFIELD PRASA HOUSE  
BURNETT STREET  
1ST FLOOR EAST**

DRAWING TITLE

**AS-BUILT  
PROPOSED ALTERATIONS  
FURNITURE LAYOUT**

DATE	SCALE	DRAWN BY
30.06.2025	1:100	TKH

DRAWING NUMBER	SHEET NUMBER	REVISION
-	01	Q









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REV.	DESCRIPTION	DATE

NOTES

ROAD ACCIDENT FUND  
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CENTURION  
www.raff.co.za

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CENTURION 0048  
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rertionh@raff.co.za

PROJECT TITLE		
PROPOSED ALTERATIONS PRASA HOUSE BURNETT STREET 2ND FLOOR EAST WING		
DRAWING TITLE		
FLOOR PLAN PARTITION LAYOUT AS-BUILT PROPOSED ALTERATIONS		
DATE	SCALE	DRAWN BY
30.06.2025	1:100	TKH
DRAWING NUMBER	SHEET NUMBER	REVISION
-	01	Q



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REVISIONS		
REV.	DESCRIPTION	DATE

NOTES



**Road Accident Fund**

ROAD ACCIDENT FUND  
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420 WILHELM-AVE  
CENTURION  
SOUTH AFRICA  
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PRIVATE BAG X178  
CENTURION  
SOUTH AFRICA  
TELEPHONE : +27 12 621-1789  
CENTURION  
www.rafc.co.za

PROJECT TITLE		
HATFIELD PRASA BUILDING BURNETT STREET 2ND FLOOR WEST WING		
DRAWING TITLE		
DRYWALL AND FURNITURE LAYOUT		
-		
-		
DATE	SCALE	DRAWN BY
30.06.2025	1:100	TKH
DRAWING NUMBER	SHEET NUMBER	REVISION
	01	Q









SPECIFICATIONS OR SUPPLEMENTARY NOTES MAY BE ISSUED:		
REV#	DESCRIPTION:	DATE:

REV.	DESCRIPTION:	DATE:

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DRAWING TITLE:

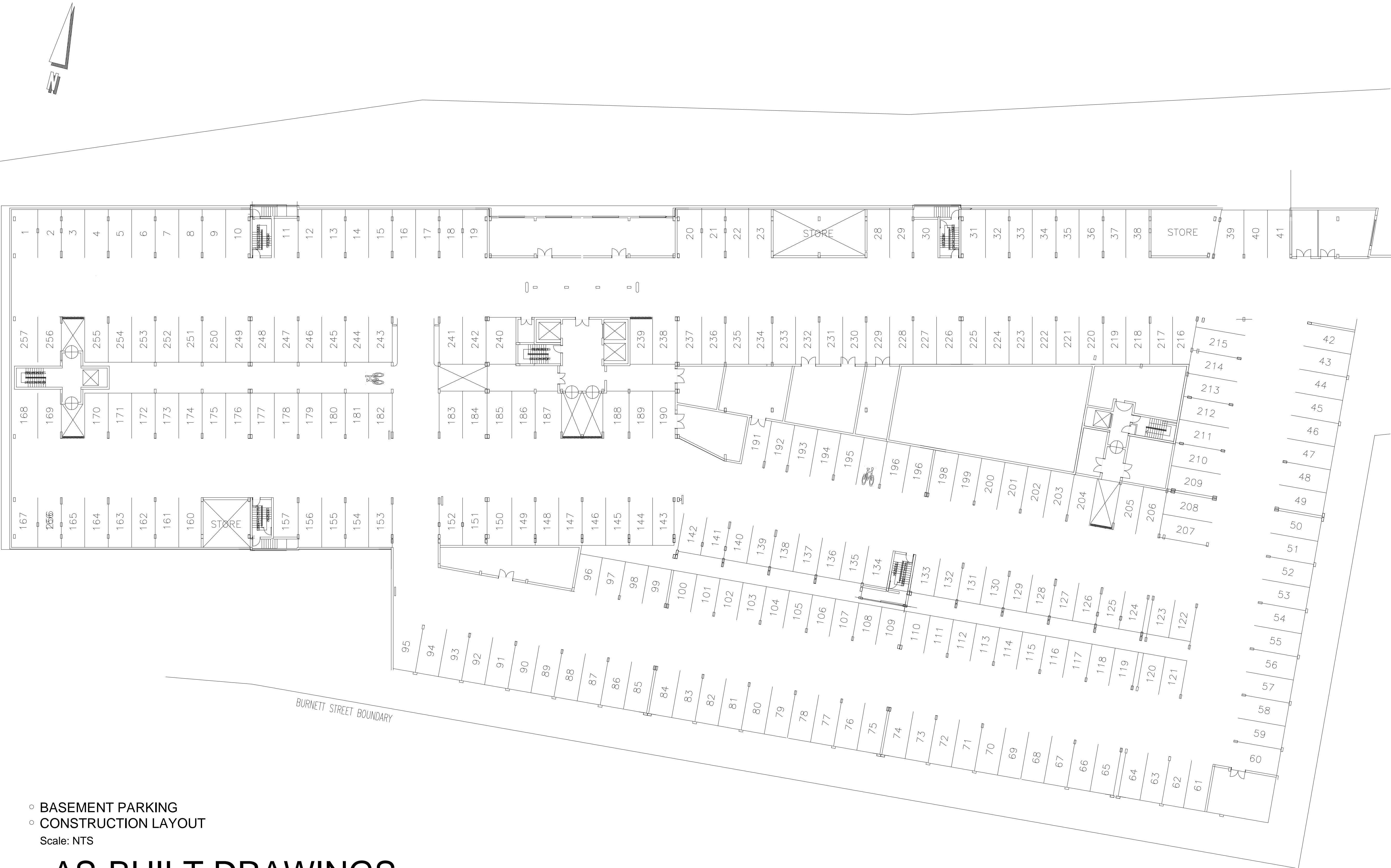
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DRAWING NUMBER:		SHEET NUMBER		REVISION
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GENERAL NOTES:

- ALL DIMENSIONS TO BE CHECKED ON SITE
- ANY CONTRADICTION ON THE PLANS MUST BE BROUGHT UNDER THE ATTENTION OF THE INTERSITE DESIGN AND SPACE PLANNING DEPARTMENT
- WORK AND FINISHES TO COMPLY WITH THE INTERSITE SPECIFICATIONS
- REFER TO DETAILS WHERE INDICATED

WALLS	
	EXISTING WALL
	NEW WALL
	EXISTING PARTITION
	NEW PARTITION
	CURTAIN WALL
	DEMOLISH



- BASEMENT PARKING
  - CONSTRUCTION LAYOUT
- Scale: NTS

# AS-BUILT DRAWINGS

SPACE UTILIZATION:
RENTABLE AREA:
COMMON AREA:
USABLE AREA:
STAFF COMPLIMENT:
PER HEAD m2 (Usable):

DRAWING REFERENCE:		
-01 DEMOLITION LAYOUT	-04 WALL FINISHES LAYOUT	-07 ELECTRICAL LAYOUT
-02 CONSTRUCTION LAYOUT	-05 FLOOR FINISHES LAYOUT	-08 LIGHTING & CEILING LAYOUT
-03 DOOR SCHEDULE AND DETAILS	-06 FURNITURE LAYOUT	-09 MISCELLANEOUS

APPROVALS	
CLIENT:	DATE: _____
NAME: _____	SIGNATURE: _____
CRES MANAGER:	DATE: _____
NAME: _____	SIGNATURE: _____

* ONCE APPROVALS HAVE BEEN RECEIVED NO CHANGES TO SKETCH LAYOUT CAN BE ACCEPTED			
NO REVISIONS	NAME	DATE	CHKD

CRES - Corporate Real Estate Solutions



Head Office:  
12th floor  
66 Jonissen Place  
Jonissen Street  
BRAAMFONTEIN  
  
Tel: +27 11 773 1700  
Fax: +27 86 532 7102

PROJECT:  
PRASA HOUSE

PROJECT ADDRESS:  
1040 BURNETT STREET, HATFIELD, PRETORIA

DEPARTMENT:  
ICT

DESCRIPTION: BASEMENT PARKING LAYOUT As-built Layout		DESIGN BY: R. SCHNOLZER BRAWN BY: JUSTIN GORDON	
SCALE: NTS DATE: 2012-03-16		DESIGN & SPACE PLANNING APPROVAL: DATE:	
DRAWING No. PH-BMT-09	REV No. 1	BUILDING No.	FILE No.

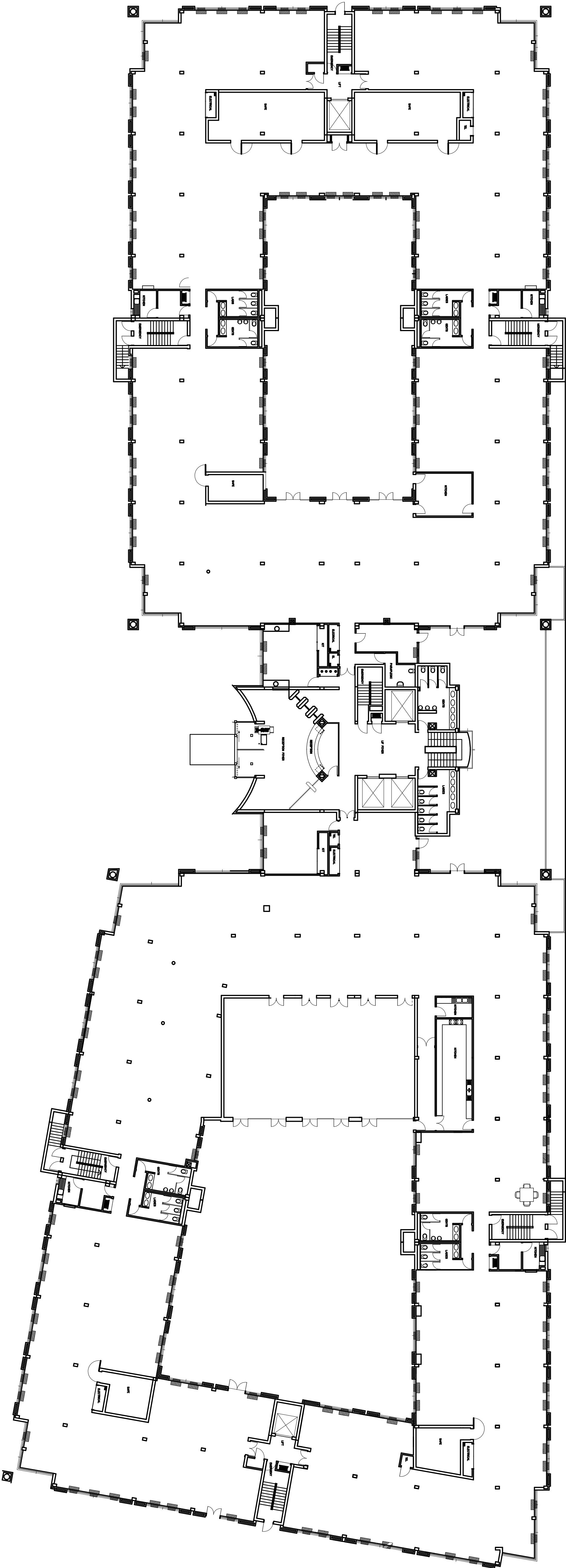












◦ GROUND FLOOR  
◦ PROPOSED LAYOUT

scale 1:200

SPACE UTILIZATION:

- RENTABLE AREA –
- USABLE AREA –
- COMMON AREA –
- STAFF COMPLIMENT –
- m<sup>2</sup> PER HEAD (usable) –

NOTE:

GENERAL NOTES:

- ALL DIMENSIONS TO BE CHECKED ON SITE
- ANY CONTRADICTION ON THE PLANS MUST BE BROUGHT UNDER THE ATTENTION OF THE INTERSITE DESIGN AND SPACE PLANNING DEPARTMENT
- WORK AND FINISHES TO COMPLY WITH THE INTERSITE SPECIFICATIONS
- REFER TO DETAILS WHERE INDICATED

WALLS

- EXISTING WALL
- NEW WALL
- EXISTING PARTITION
- NEW PARTITION
- CURTAIN WALL
- DEMOLISH

PROJECT:

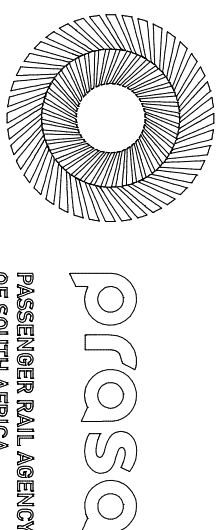
PRAISA HOUSE

PROJECT ADDRESS:

1040 BURNETT STREET  
HATFIELD  
PRETORIA

DESCRIPTION:

BUILDING PLAN



CRES - Corporate Real Estate Solutions

Head Office:  
12th floor  
65 Jorissen Place  
Dorpsburg Street  
BROADACRE  
Tel: +27 11 773 1700  
Fax: +27 86 532 7102

DESIGN:

DATE: 15 JUNE 2012

DRAWN:

RS

SCALE:

1 : 200

DESIGN & SPACE PLANNING:

APPROVAL:

DATE:

BUILDING NO:

FILE:

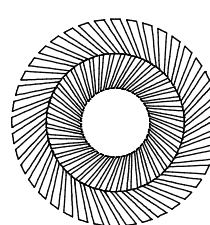
DRAWING NO:

REV NO:



SPACE UTILIZATION:	
COMMON AREA	
USABLE AREA	:
STAFF COMPLIMENT	:
PER HEAD m2 (usab):	

◦ SITE PLAN  
scale 1:100

NO REVISIONS	NAME	DATE	CHG	
CRES - Corporate Real Estate Solutions				
 PRASA PUBLIC TRANSPORTATION REGULATORY AGENCY		Head Office: 6th floor Union House 30 Watermark BROADACRE Tel: +27 11 773 3700 Fax: +27 86 552 7102		
PROJECT: PRASA HOUSE				
PROJECT ADDRESS: 1040 BURNETT STREET HAFFIELD PRETORIA GAUTENG				
DESCRIPTION: PROPOSED LAYOUT				
DESIGN:	DRAWN: RS			
DATE: 15 JUNE 2012				
SCALE:	DESIGN & SPACE PLANNING: APPROVAL:			
DRAWING NO:	REV NO:	BUILDING NO:	FILE:	
SITE				

