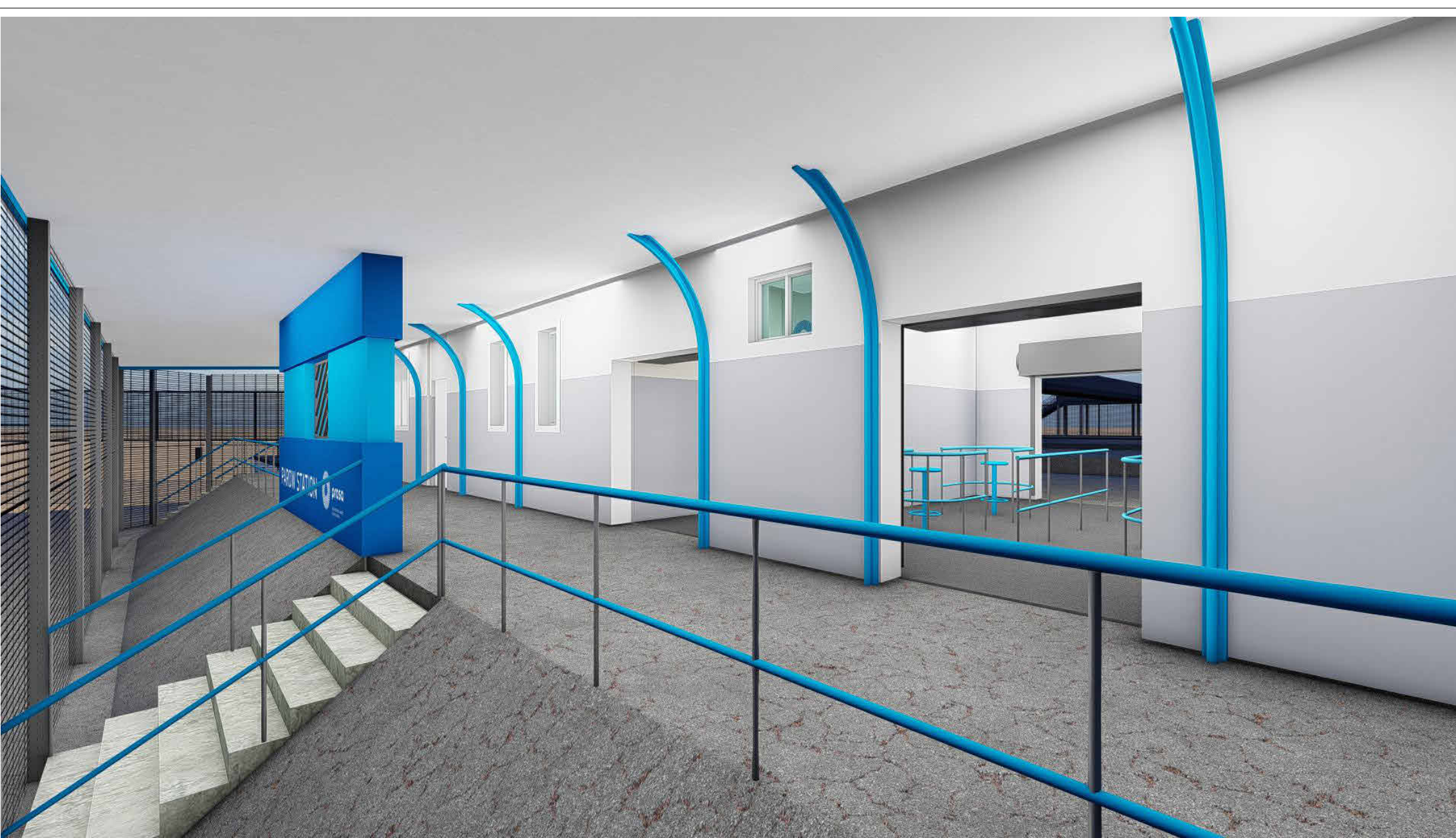


GROUND STOREY PLAN - ZONE C - STATION BUILDING
SCALE - 1 : 50



STATION BUILDING RENDERED VIEW 1



STATION BUILDING RENDERED VIEW 3



STATION BUILDING RENDERED VIEW 2



STATION BUILDING RENDERED VIEW 4



STATION BUILDING RENDERED VIEW 5



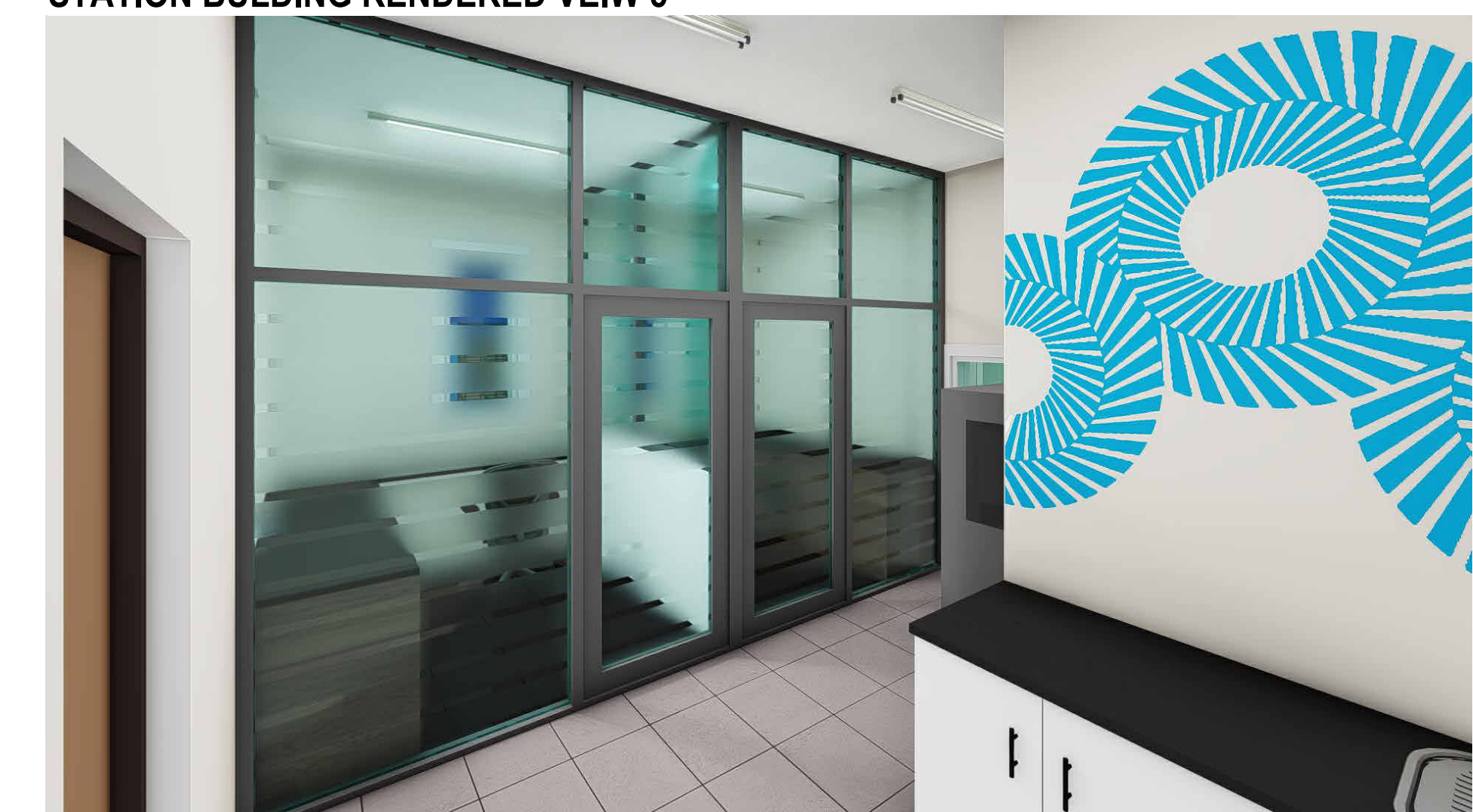
STATION BUILDING RENDERED VIEW 6



STATION BUILDING RENDERED VIEW 7



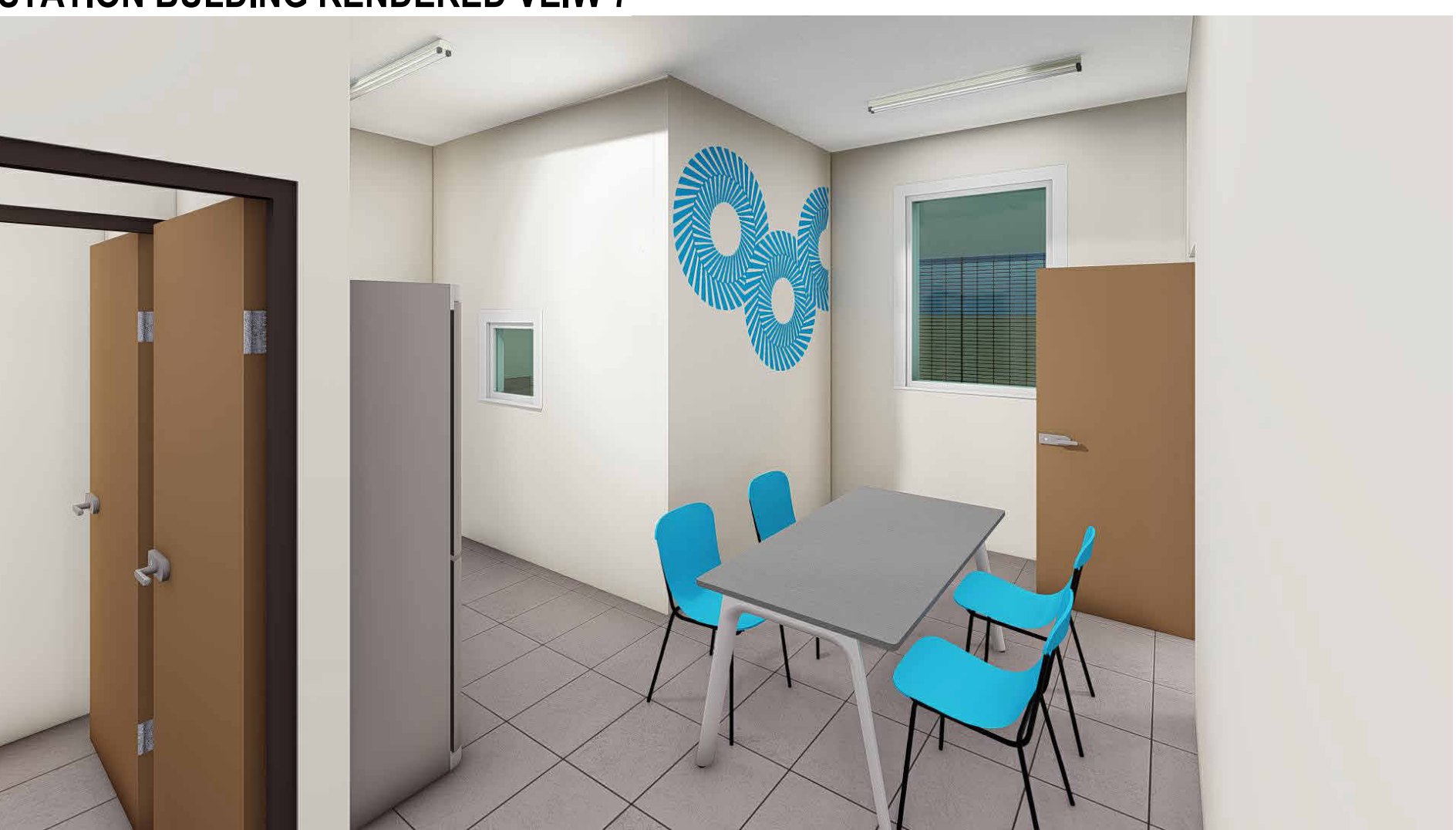
STATION BUILDING RENDERED VIEW 8



STATION BUILDING RENDERED VIEW 9



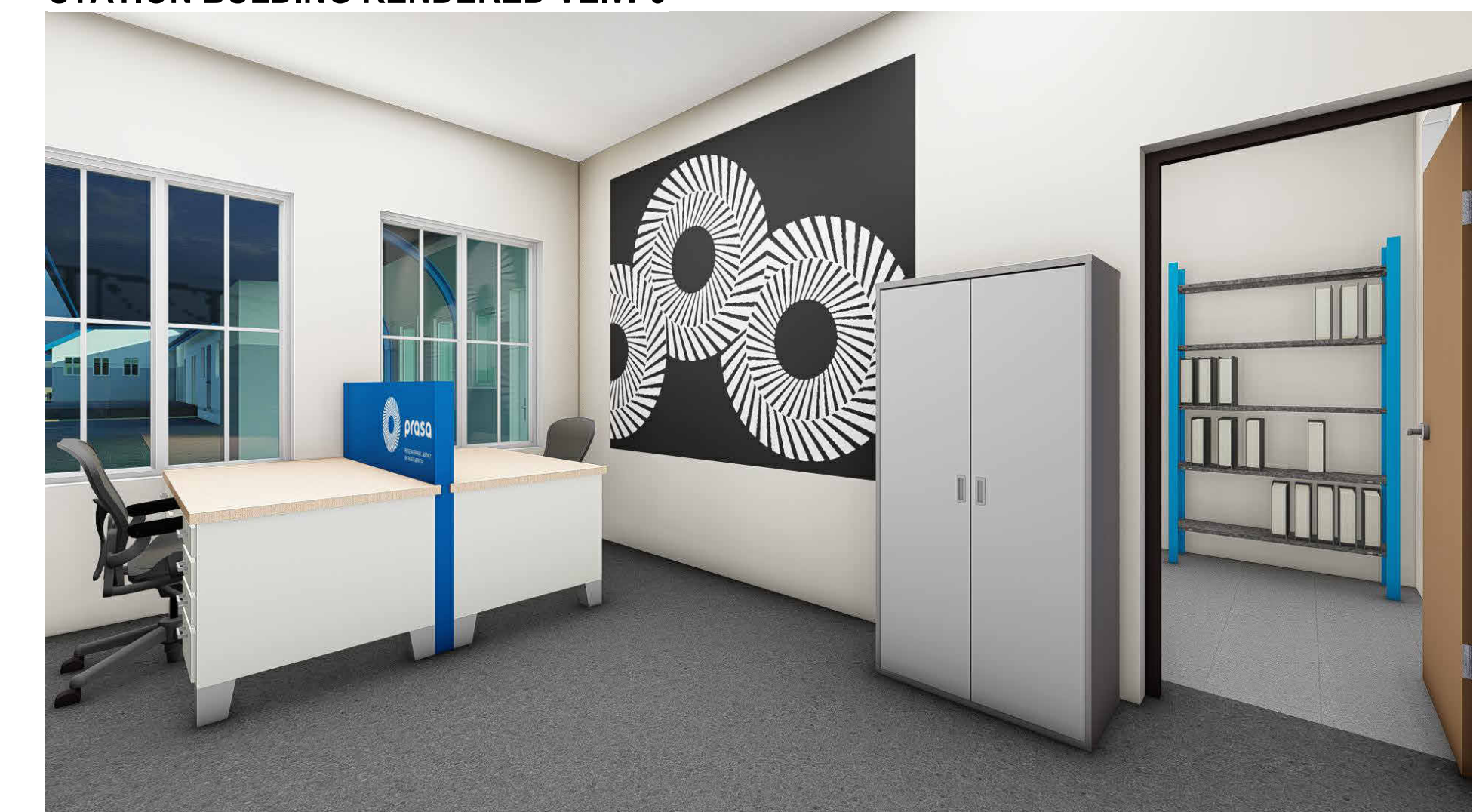
STATION BUILDING RENDERED VIEW 10



STATION BUILDING RENDERED VIEW 11



STATION BUILDING RENDERED VIEW 12



STATION BUILDING RENDERED VIEW 13



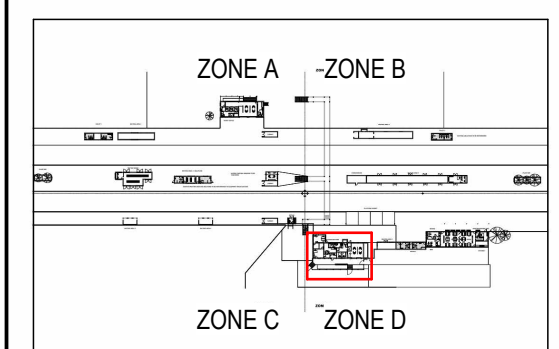
STATION BUILDING RENDERED VIEW 14



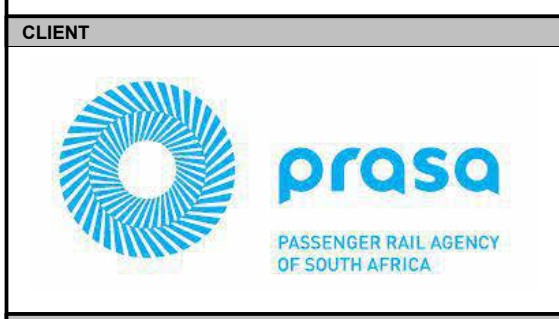
STATION BUILDING RENDERED VIEW 15

GENERAL NOTES

- FOUNDATIONS:**
To be constructed in accordance with Part 4 of SANS 10400, and shall be constructed in accordance with the design and specification of the structural engineer and approved by the relevant authority.
- WALLS:**
To be constructed in accordance with Part 4 of SANS 10400, and shall be constructed in accordance with the design and specification of the structural engineer and approved by the relevant authority.
- ROOF:**
To be constructed in accordance with Part 4 of SANS 10400, and shall be constructed in accordance with the design and specification of the structural engineer and approved by the relevant authority.
- FLOORS:**
To be constructed in accordance with Part 4 of SANS 10400, and shall be constructed in accordance with the design and specification of the structural engineer and approved by the relevant authority.
- DOORS AND WINDOWS:**
To be constructed in accordance with Part 4 of SANS 10400, and shall be constructed in accordance with the design and specification of the structural engineer and approved by the relevant authority.
- GLAZING:**
To be constructed in accordance with Part 4 of SANS 10400, and shall be constructed in accordance with the design and specification of the structural engineer and approved by the relevant authority.
- CEILING AND LIGHTING:**
To be constructed in accordance with Part 4 of SANS 10400, and shall be constructed in accordance with the design and specification of the structural engineer and approved by the relevant authority.
- WORKMANSHIP:**
To be constructed in accordance with Part 4 of SANS 10400, and shall be constructed in accordance with the design and specification of the structural engineer and approved by the relevant authority.
- ENVIRONMENTAL REQUIREMENTS:**
To be constructed in accordance with Part 4 of SANS 10400, and shall be constructed in accordance with the design and specification of the structural engineer and approved by the relevant authority.
- STAIRS:**
To be constructed in accordance with Part 4 of SANS 10400, and shall be constructed in accordance with the design and specification of the structural engineer and approved by the relevant authority.



LOCALITY PLAN



CLIENT



PROJECT MANAGERS

C	2023.02.17	Issued for Approval
B	2023.02.06	Issued for Preliminary Approval
A	2022.11.30	Stage 3 Design Sign Off

CLIENT INFORMATION	DESCRIPTION
NAME	T. GUMIDE
DATE	2023.02.17
REGISTERED	PROF REG. NO. 24871662
SIGNATURE	

DESIGNED BY:	T. GUMIDE
DRAWN BY:	D. MLLS
DESIGN CHECKED BY:	T. GUMIDE
DRAWING CHECKED BY:	T. GUMIDE

APPROVAL CONSULTANT	NAME: T. GUMIDE	PROF REG. NO. 24871662
	REGISTERED: PROF	SIGNATURE:

COPYRIGHT VESTED IN	DESIGN SCAPE ARCHITECTS
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PROJECT TITLE:	PAROW STATION
DESCRIPTION:	REFURBISHMENT OF PAROW STATION
ERP NUMBER:	9016, 9026, 9017, 18752
LOCATION:	Parow, Cape Town, 7600

DRAWING TITLE	STATION BUILDING
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BUILDING/FACILITY/ZONE	DISCIPLINE
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PROJECT NR / ABREV.	DATE
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PROJECT / ZONE / LEVEL / TYPE / ROLE / SERIAL NO. / STAY / REV.	DATE
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DRAWING NUMBER	1 : 50
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SCALE	1 : 50
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GENERAL NOTES

FOUNDATIONS:
To be constructed in accordance with Part H of SANS 10400, and strictly to structural engineer's detail & specification. All trenches and concrete to approved standards and checked by the building inspector and structural engineer.

WALLS:
Foundation walling to Structural Engineer's detail & specification. All cavities to be filled with concrete to surface bed level. All brickwork to be Imperial Ricks (110 x 220 x 75).

MASONRY:
To be constructed in accordance with Part K of SANS 10400.
280 mm cavity masonry walls to Structural Eng detail and spec. With 1000 x 600 x 150 mm concrete lintels and sills. All external walls to be rendered externally and internally. Beaming to underfoot of roof sheaths.

LINTOLS: Precast RC L lintols for all openings not exceeding 3000 mm. Lintols to extend min 200mm beyond opening. Min 4 courses brickwork above with brickwork in accordance with Part J of SANS 10400.

EXPANSION JOINTS
Expansion joints to be provided between existing and new brickwork.
Expansion joints at max. 10m of free-standing wall, all in accordance with Structural Eng detail & spec.

STRUCTURAL TIMBERS
All to be born treated V4 or better SA pine or gum.

FLOORS:
To be constructed in accordance with Part J of SANS 10400
All RC slabs to be constructed in accordance with Structural Engineer's details.

ROOF:
To be constructed in accordance with Part L of SANS 10400 as well as SABS 002.

DOORS AND WINDOWS:
To be constructed in accordance with Part L of SANS 10400.

GLAZING:
4mm clear glazing to all doors & windows, unless specified otherwise. All glazing to be installed in accordance with SANS 10400.
All glass panes exceeding 1m², or that is less than 1m above FF, to be 6.4mm laminated safety glass in accordance with Part N of SANS 10400.

DRAINAGE & STORMWATER:
To be constructed in accordance with Part P of SANS 10400. All drainage passing under any portion of the building to be encased in min 100mm concrete to waste pipes (to be min 40mm dia).

CEILING AND HEADROOM:
All ceilings to conform with part CC3.2 table 2 of SANS 10400 min. 2100mm head room at all sanitary fittings.

WORKMANSHIP:
All work to local authority building regulations. Workmanship to be of highest standard and comply with all SABS and relevant specified standards for fixing/finishing.

OCCUPATIONS, HEALTH & SAFETY ACT:
All works to comply with the Occupational Health and Safety Act, - the building contractor to be responsible and maintained in accordance with the above.

ENVIRONMENTAL REQUIREMENTS:
Festination area is less than 1% of Net floor area per storey in accordance with SANS XA 4.4.
Total lighting area is between 1.5% & 10% of Area of served space in accordance with SANS 204.2011

STAIRS:
Tread width will not be less than 250mm and any riser will not exceed 200mm in height. Provided that each step of the stairway shall be such that the sum of the tread and twice the riser is not less than 570mm and not more than 650mm.

CLIENT



PROJECT MANAGERS	
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93	94
95	96
97	98
99	100



C	2023.02.17	Issued for Approval
B	2023.02.06	Issued for Preliminary Approval
A	2022.11.30	Stage 3 Design Sign Off
No.	Date	Description
CLIENT INFORMATION		
		SIGNATURE:
		SIGNATURE:
DRAWING CHECKS		
DESIGNED BY:	T GUMEDE	
DRAWN BY:	D MILLS	
DESIGN CHECKED BY:	T GUMEDE	
DRAWING CHECKED BY:	T GUMEDE	
APPROVAL CONSULANT		
NAME:	T GUMEDE	PROF REG. NO.: 24671652
REGISTERED: P/Arch	SIGNATURE:	

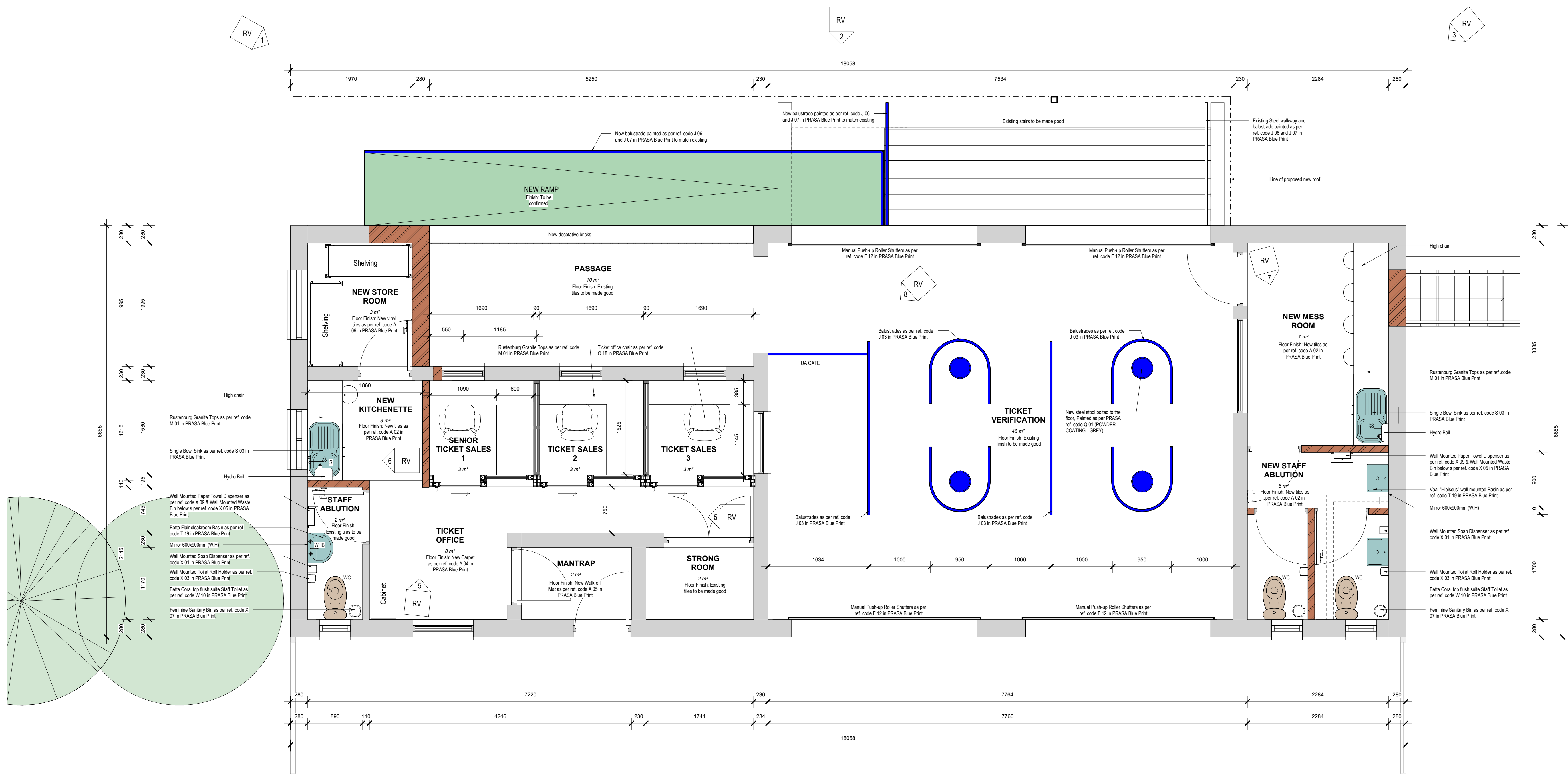
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DESIGN SCAPE ARCHITECT

DESIGNSCAPE
architects

109 Waterkant St, De Waterkant,
Cape Town, 8001

PROJECT TITLE: PAROW STATION									
DESCRIPTION: REFURBISHMENT OF PAROW STATION									
ERF NUMBER: 9018, 9026, 9017, 18752									
LOCATION: Parow, Cape Town, 7500									
DRAWING TITLE MESS ROOM									
BUILDING/FACILITY/ZONE					DISCIPLINE				
PROJECT NR. / ABREV. PRW10					DATE 2023/02/17 13:03:19				
DRAWING INFORMATION									
DRAWING NUMBER									
PROJECT	ORIG.	ZONE	LEVEL	TYPE	ROLE	SERIAL	NO.	STAT.	REV.
PRW10						032006			
SCALE									1 : 40

2023/02/17 13:03:19



GROUND STOREY PLAN - ZONE A - TICKET OFFICE
SCALE - 1 : 35



TICKET OFFICE RENDERED VEIW 1 (OPTION 1)



TICKET OFFICE RENDERED VEIW 2 (OPTION 1)



TICKET OFFICE RENDERED VEIW 3 (OPTION 1)



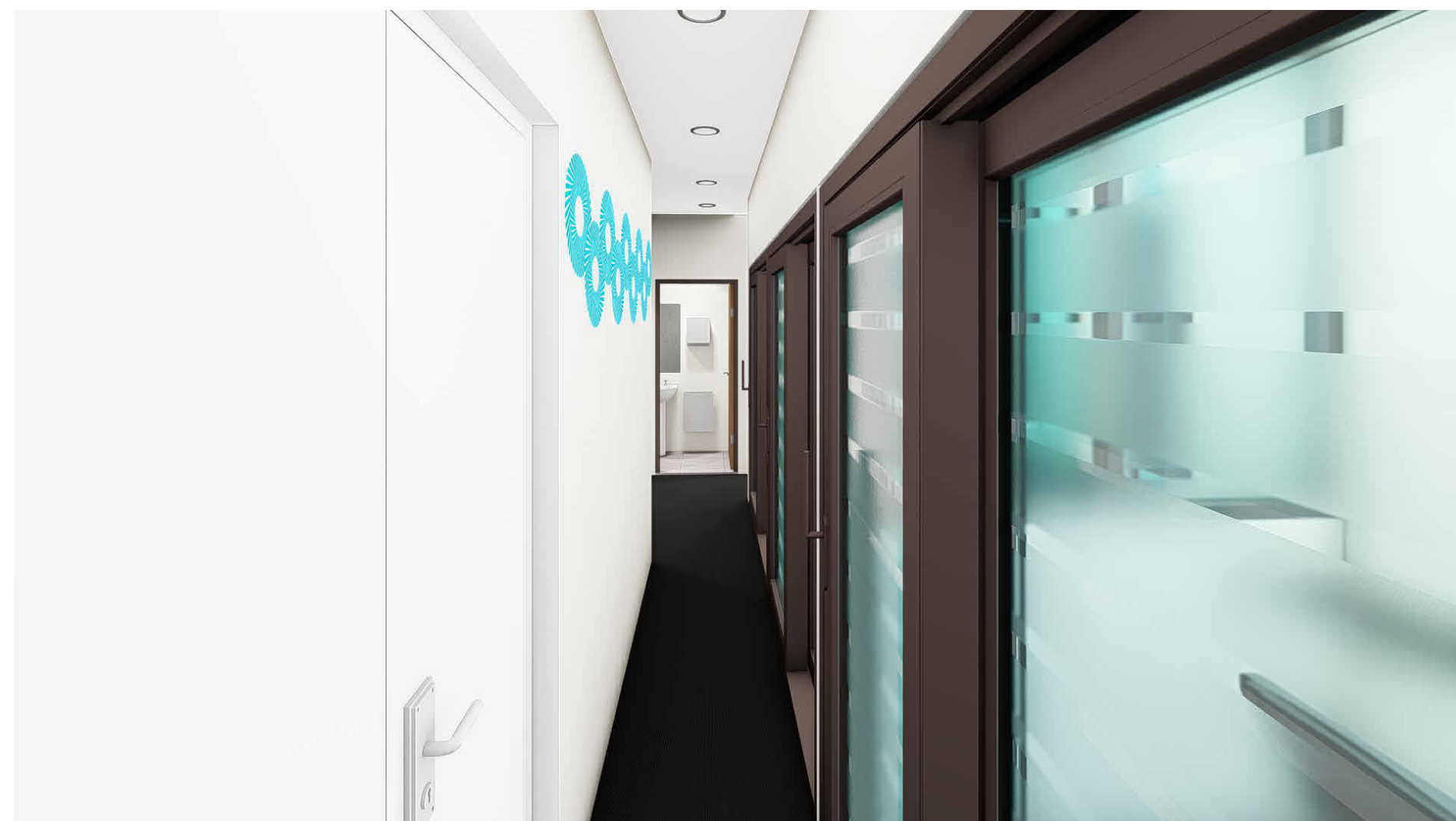
TICKET OFFICE RENDERED VEIW 1 (OPTION 2)



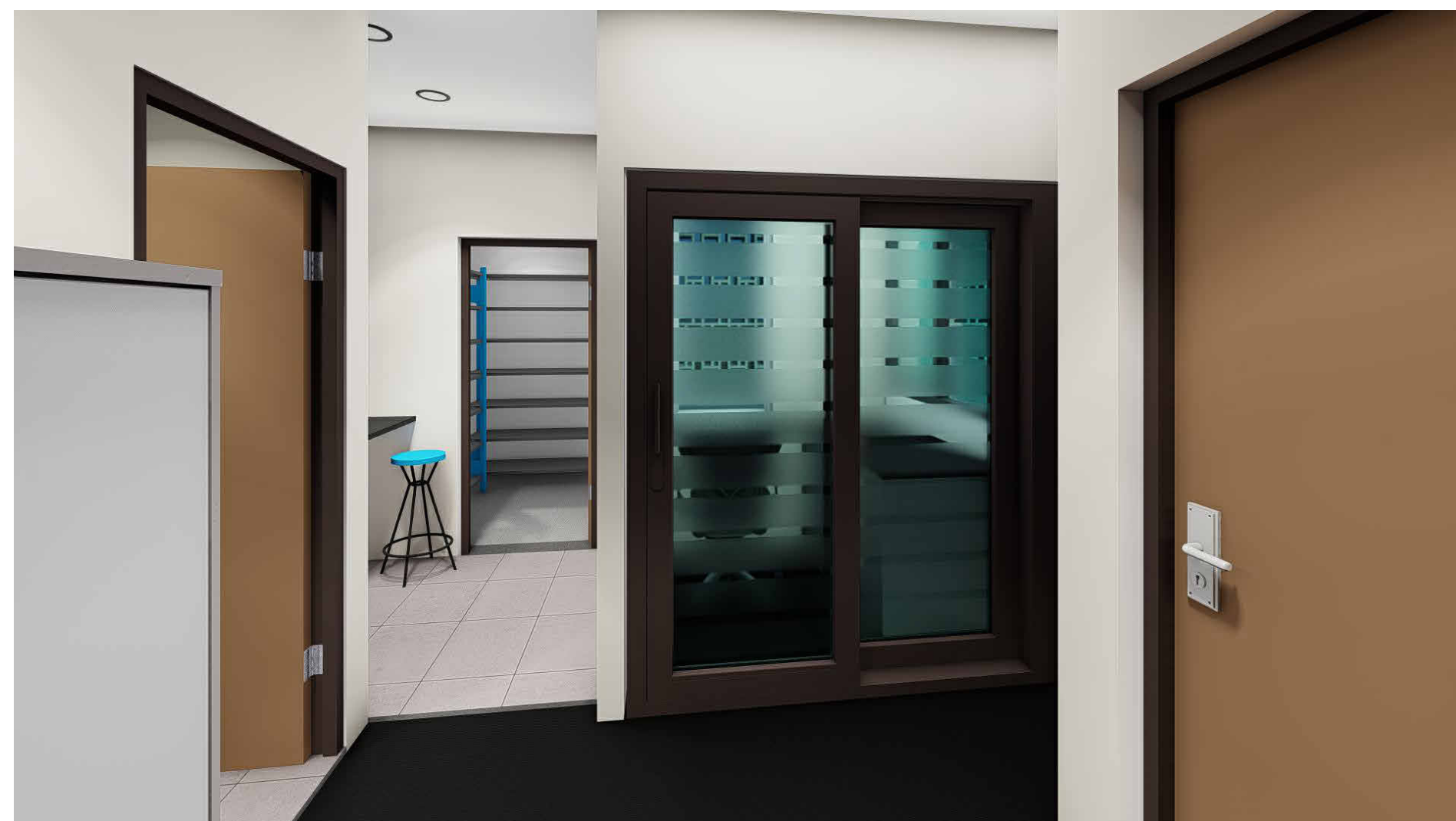
TICKET OFFICE RENDERED VEIW 2 (OPTION 2)



TICKET OFFICE RENDERED VEIW 3 (OPTION 2)



TICKET OFFICE RENDERED VEIW 4



TICKET OFFICE RENDERED VEIW 5



TICKET OFFICE RENDERED VEIW 6



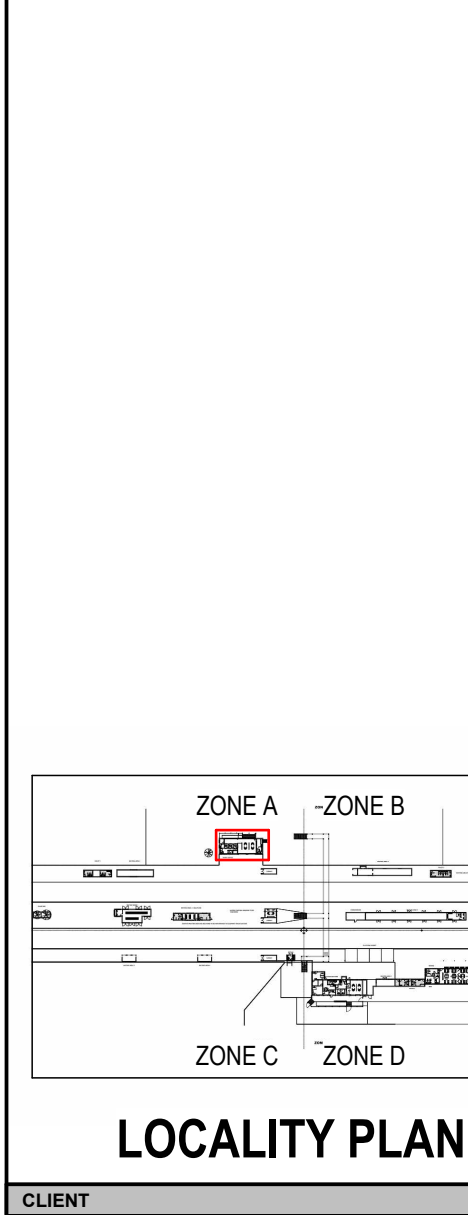
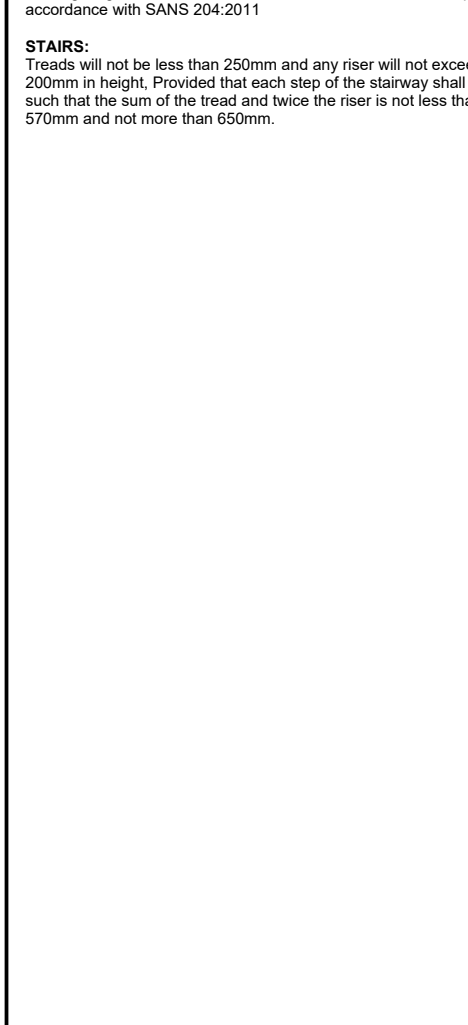
TICKET OFFICE RENDERED VEIW 7





TICKET OFFICE RENDERED VEIW 8

GENERAL NOTES

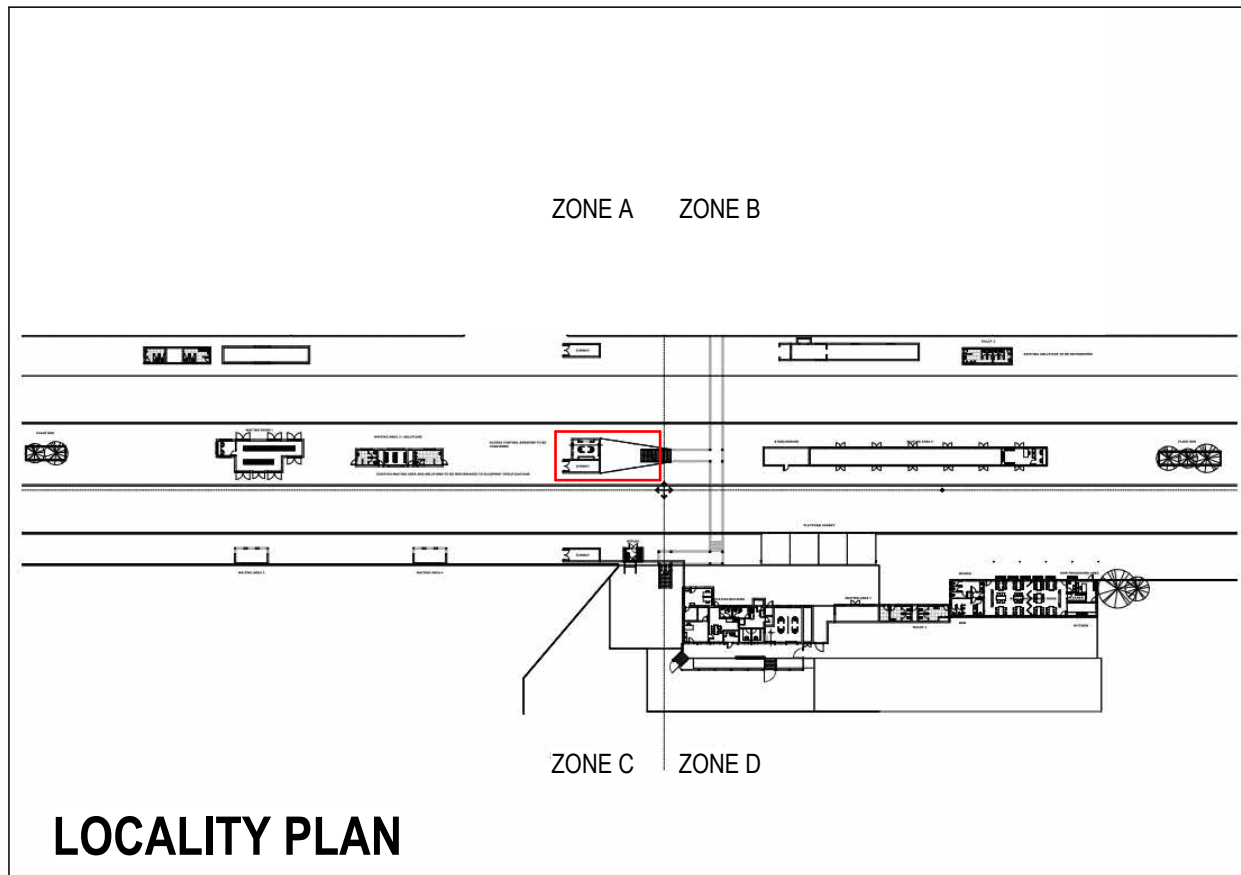
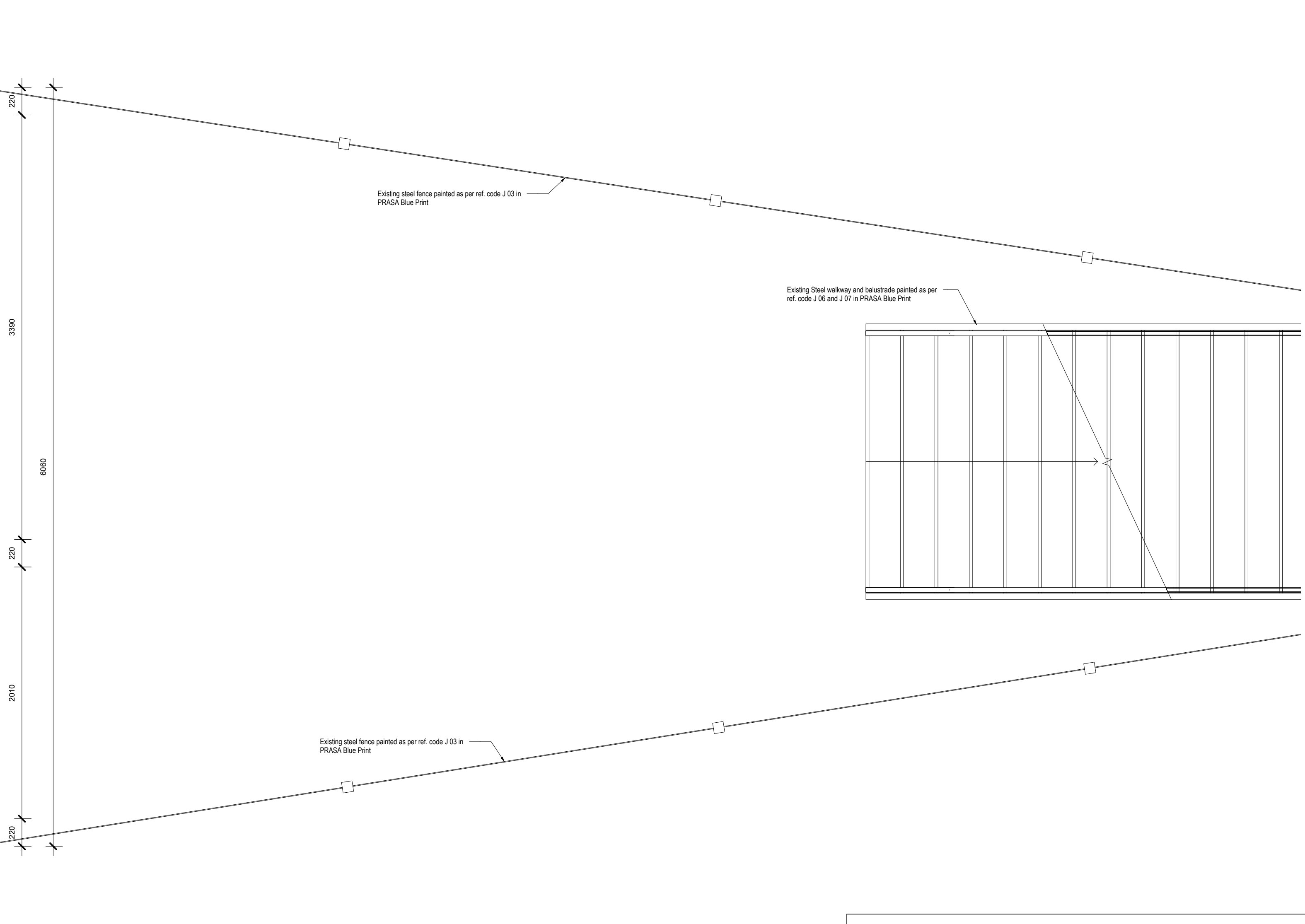
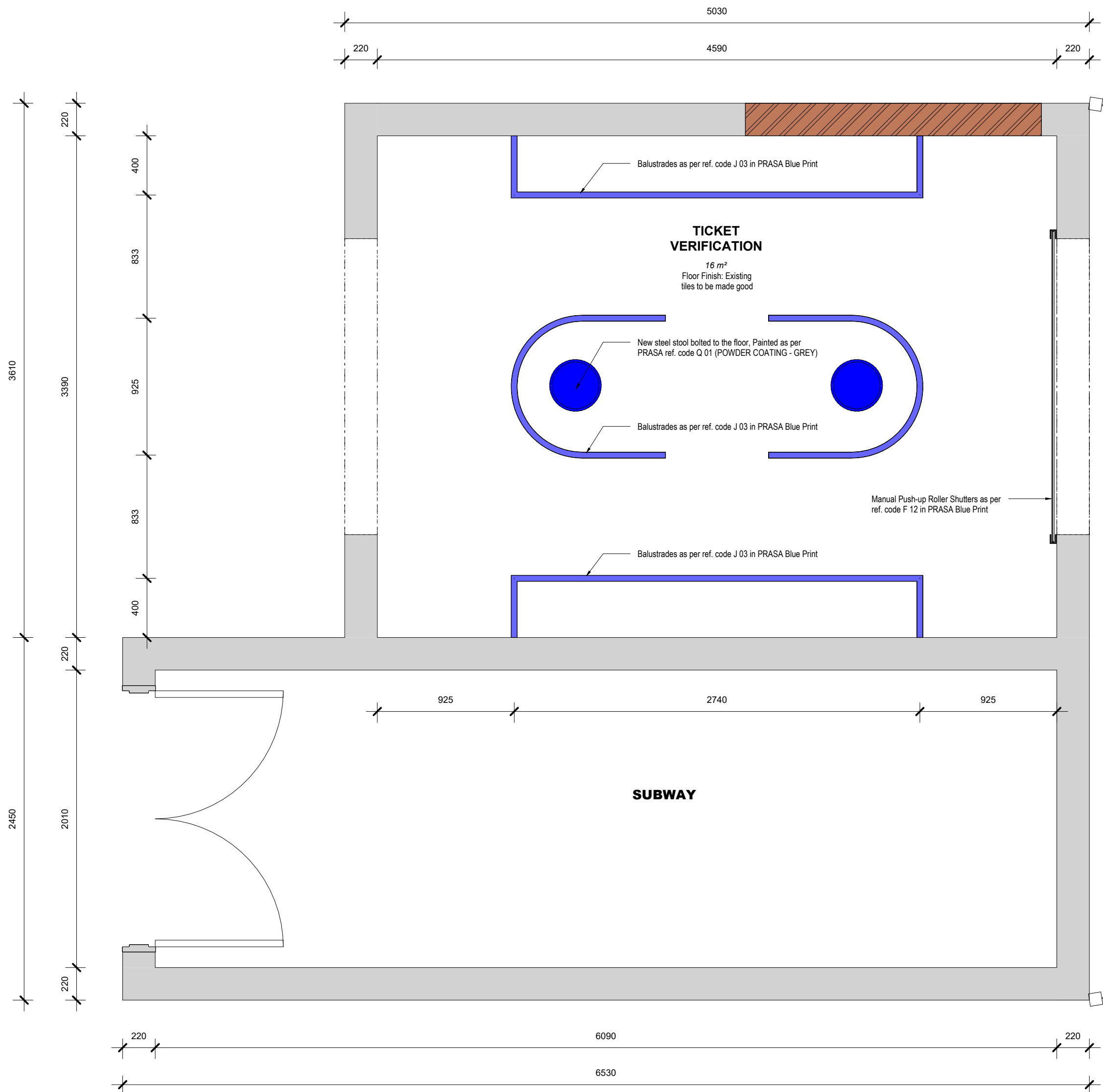
- FOUNDATIONS:**
To be constructed in accordance with Part 4 of SANS 10400, and comply to relevant engineer's design & specification. All trenches and foundations shall be constructed and checked by the building inspector and structural engineer.
- WALLS:**
Foundation walls to be constructed in accordance with Part 4 of SANS 10400. All cavity to be filled with concrete to surface level. All foundations to be integral (150 x 225 x 75).
- MASSUREY:**
To be constructed in accordance with Part 4 of SANS 10400. All cavity to be filled with concrete to surface level. All foundations to be integral (150 x 225 x 75).
- EXPANSION JOINTS:**
Expansion joints to be provided between existing and new footings. Expansion joints at max. 10m of new footing wall, all in accordance with Structural Engineer's design.
- STRUCTURAL TIMBERS:**
All to be tested in accordance with Part 4 of SANS 10400.
- FLOORS:**
To be constructed in accordance with Part 4 of SANS 10400. All cavity to be filled with concrete to surface level. All foundations to be integral (150 x 225 x 75).
- ROOF:**
To be constructed in accordance with Part 4 of SANS 10400 as well as SANS 10400.
- DOORS AND WINDOWS:**
To be constructed in accordance with Part 4 of SANS 10400.
- GLAZING:**
Glass to be placed in all doors & windows, unless specified otherwise. All glass to be tested in accordance with Part 4 of SANS 10400. All glass to be tested in accordance with Part 4 of SANS 10400.
- DRINKING WATER SUPPLY:**
To be tested in accordance with Part 4 of SANS 10400. All drinking water supply to be tested in accordance with Part 4 of SANS 10400.
- CEILING AND LIGHTING:**
All ceiling to be tested in accordance with Part 4 of SANS 10400. All lighting to be tested in accordance with Part 4 of SANS 10400.
- WORKMANSHIP:**
All work to be tested in accordance with Part 4 of SANS 10400. All work to be tested in accordance with Part 4 of SANS 10400.
- OCCUPATIONAL HEALTH & SAFETY ACT:**
All work to be tested in accordance with Part 4 of SANS 10400. All work to be tested in accordance with Part 4 of SANS 10400.
- ENVIRONMENTAL REQUIREMENTS:**
Foundation walls to be tested in accordance with Part 4 of SANS 10400. All foundation walls to be tested in accordance with Part 4 of SANS 10400.
- STAIRS:**
Stairs to be tested in accordance with Part 4 of SANS 10400. All stairs to be tested in accordance with Part 4 of SANS 10400.



CLIENT	
 PRASA PASSENGER RAIL AGENCY OF SOUTH AFRICA	
PROJECT MANAGERS	
 KITSO BOTHLHALE CONSULTING ENGINEERS	
DESIGN CHECKS	
DESIGNED BY:	T. GUMIDE
DRAWN BY:	D. MILLS
DESIGN CHECKED BY:	T. GUMIDE
DRAWING CHECKED BY:	T. GUMIDE
APPROVAL CONSULTANT	
NAME:	T. GUMIDE
PROF REG. NO.:	24871662
REGISTERED:	PROF
SIGNATURE:	

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DESIGNSCAPE architects	
109 Waterkant St. De Waterkant, Cape Town, 8001	
PROJECT TITLE: PAROW STATION	
DESCRIPTION: REFURBISHMENT OF PAROW STATION	
ERF NUMBER: 9016, 9026, 9017, 18752	
LOCATION: Parow, Cape Town, 7600	
DRAWING TITLE TICKET OFFICE	
BUILDING/FACILITY/ZONE	
PROJECT NR./ABREV. PRW10	DISCIPLINE 13.03.30
DRAWING NUMBER	
PROJECT (CONS.)	ZONE (LEVEL/TYPE)
PROVIDED	13.03.30
SCALE	
1 : 35	

FOR TENDER



GROUND STOREY PLAN - ZONE C - TICKET VERIFICATION
SCALE - 1 : 25

GENERAL NOTES

- FOUNDATIONS:**
To be constructed in accordance with Part H of SANS 10400, and strictly to structural engineer's detail & specification. All trenches and concrete to approved standards and checked by the building inspector and structural engineer.
- WALLS:**
Foundation walling: to Structural Engineers detail & specification. All cavities to be filled with concrete to surface bed level. All brickwork to be imperial ROKs (110 x 220 x 75).
- MASONRY:**
To be constructed in accordance with Part K of SANS 10400.
280 mm cavity masonry walls to Structural Eng detail and spec. With rock in wall mesh 1000X20X2.5 Flashed and painted externally and internally. Beamfilling to underside of roof sheets.
- LINTOLS:** Precast R.C. lintols for all openings not exceeding 3000. Lintols to extend min 250mm beyond opening. Min 4 x courses brickwork above with bricforce in each course.
- EXPANSION JOINTS**
Expansion joints to be provided between existing and new brickwork. Expansion joints at max 10m of free-standing wall, all in accordance with Structural Eng detail & spec.
- STRUCTURAL TIMBERS**
All to be boron treated V4 or better SA pine or gum.
- FLOORS:**
To be constructed in accordance with part J of SANS 10400
All R/C slabs to be constructed in accordance with Structural Engineer's details.
- ROOF:**
To be constructed in accordance with Part L of SANS 10400 as well as SABS 062
- DOORS AND WINDOWS:**
To be constructed in accordance with SANS 10400.
- GLAZING:**
4mm clear glazing to all doors & windows, unless specified otherwise. All glazed elements exceeding 1m², or that is less than 1m above FFL, to be 6.4mm laminated safety glass in accordance with Part N of SANS 10400.
- DRAINAGE & STORMWATER:**
To be constructed in accordance with Part P of SANS 10400. All drainage passing under any portion of the building to be encased in min 100mm concrete. All waste pipes To be min 40mmØ.
- CEILINGS AND HEADROOM:**
All ceilings to conform with part CC3.2 table 2 of SANS 10400 min. 2100mm head room at all sanitary fittings.
- WORKMANSHIP:**
All work to local authority building regulations. Workmanship to be of highest standard and comply with all SABS and relevant specified standards for fixing/finishing.
- OCCUPATIONAL HEALTH & SAFETY ACT:**
All works to comply with the Occupational Health and Safety Act - the building site to be managed and maintained in accordance with the above.
- ENVIRONMENTAL REQUIREMENTS:**
Penetration area is less than 15% of Net floor area per storey in accordance with SANS XA 4.4.4
Roof lighting area is between 1.5% & 10% of Area of served space in accordance with SANS 204:2011
- STAIRS:**
Treads will not be less than 250mm and any riser will not exceed 200mm in height. Provided that each step of the stairway shall be such that the sum of the tread and twice the riser is not less than 570mm and not more than 650mm.

CLIENT



PROJECT MANAGERS



B	2023.02.17	Issued for Approval
A	2022.11.30	Stage 3 Design Sign Off

No.	Date	Description
-----	------	-------------

CLIENT INFORMATION

SIGNATURE:

DRAWING CHECKS

DESIGNED BY:	T GUMEDE
DRAWN BY:	D MILLS
DESIGN CHECKED BY:	T GUMEDE
DRAWING CHECKED BY:	T GUMEDE

APPROVAL CONSULTANT

NAME:	T GUMEDE	PROF REG. No.: 24671652
REGISTERED:	PrArch	SIGNATURE:

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DESIGN SCAPE ARCHITECTS

DESIGNSCAPE
architects

109 Waterkant St, De Waterkant,
Cape Town, 8001

PROJECT TITLE: PAROW STATION

DESCRIPTION: REFURBISHMENT OF PAROW STATION

ERF NUMBER: 9018, 9026, 9017, 18752

LOCATION: Parow, Cape Town, 7500

DRAWING TITLE TICKET VERIFICATION

BUILDING/FACILITY/ZONE	DISCIPLINE
------------------------	------------

PROJECT NR. / ABREV.	DATE
PRW10	2023/02/17 13:03:33

DRAWING NUMBER									
PROJECT	ORIG.	ZONE	LEVEL	TYPE	ROLE	SERIAL NO.	STAT.	REV.	
PRW10						032008		B	

SCALE 1 : 25

FOR TENDER

2023/02/17 13:03:33

FOUNDATIONS:
To be constructed in accordance with Part K of SANS 10400, and strictly to structural engineer's detail & specification. All trenches and concrete to be approved standards and checked by the building inspector and structural engineer. All concrete to surface level and up. All brickwork to be cavity Roka (110 x 220 x 75).

WALLS:
Foundation walling to Structural Engineer detail & specification. All cavity Roka (110 x 220 x 75) concrete to surface level and up. All brickwork to be approved standards and checked by the building inspector and structural engineer. All concrete to surface level and up. All brickwork to be cavity Roka (110 x 220 x 75).

MASONRY:
To be constructed in accordance with Part K of SANS 10400. 280mm cavity masonry walls to Structural Engineer detail and spec. With rock in concrete. All concrete to surface level and up. All brickwork to be approved standards and checked by the building inspector and structural engineer. All concrete to surface level and up. All brickwork to be cavity Roka (110 x 220 x 75).

CEILING:
To be constructed in accordance with Part K of SANS 10400. 280mm cavity masonry walls to Structural Engineer detail and spec. With rock in concrete. All concrete to surface level and up. All brickwork to be approved standards and checked by the building inspector and structural engineer. All concrete to surface level and up. All brickwork to be cavity Roka (110 x 220 x 75).

INTERIORS:
To be constructed in accordance with Part K of SANS 10400. 280mm cavity masonry walls to Structural Engineer detail and spec. With rock in concrete. All concrete to surface level and up. All brickwork to be approved standards and checked by the building inspector and structural engineer. All concrete to surface level and up. All brickwork to be cavity Roka (110 x 220 x 75).

EXPANSION JOINTS:
Expansion joints to be provided between existing and new brickwork. Expansion joints to be provided between existing and new brickwork. Expansion joints to be provided between existing and new brickwork. Expansion joints to be provided between existing and new brickwork.

STRUCTURAL TIMBERS:
All to be bonded with or better SANS 10400 pin or gum.

FLOORS:
To be constructed in accordance with part of SANS 10400. All concrete to be constructed in accordance with Structural Engineer's details.

ROOF:
To be constructed in accordance with Part K of SANS 10400 as well as SANS 002.

DOORS AND WINDOWS:
To be constructed in accordance with SANS 10400.

GLAZING:
All glass glazing to all doors and windows, unless specified otherwise. All glazing exceeding 1m², or less than 1m above floor, to be constructed in accordance with Part K of SANS 10400. All glazing exceeding 1m², or less than 1m above floor, to be constructed in accordance with Part K of SANS 10400. All glazing exceeding 1m², or less than 1m above floor, to be constructed in accordance with Part K of SANS 10400.

DRAINAGE & STORMWATER:
To be constructed in accordance with Part F of SANS 10400. All drainage to be constructed in accordance with Part F of SANS 10400. All drainage to be constructed in accordance with Part F of SANS 10400. All drainage to be constructed in accordance with Part F of SANS 10400.

CEILING AND HEADROOM:
All ceiling to be constructed in accordance with Part K of SANS 10400. 280mm head room to all sanitary fittings.

WORKMANSHIP:
All work to local authority building regulations. Workmanship to be of highest standard and comply with all SANS and relevant specification standards for working finish.

OCCUPATIONS, HEALTH & SAFETY ACT:
All buildings to be constructed in accordance with the Occupational Health and Safety Act - the building site to be managed and maintained in accordance with the above.

ENVIRONMENTAL REQUIREMENTS:
All buildings to be constructed in accordance with the Environmental Health and Safety Act - the building site to be managed and maintained in accordance with the above.

STAIRS:
To be constructed in accordance with Part K of SANS 10400. 280mm head room to all sanitary fittings.



KITSO BOTLHALE
CONSULTING ENGINEERS

CLIENT INFORMATION	
SIGNATURE:	_____
SIGNATURE:	_____

DESIGNED BY:	T GUMEDE
DRAWN BY:	D MILLS

DRAWING CHECKED BY: T GUMEDE

APPROVAL CONSULTANT
DR. GUYA MURPHY

REGISTERED: FIAICM SIGNATURE: _____

DESIGNSCAPE
architects

PROJECT TITLE: PAROW STATION

DESCRIPTION: REFURBISHMENT OF PAROW STATION

ERF NUMBER: 9018, 9026, 9017, 18752

LOCATION: Parow, Cape Town, 7500

TOILET 2

BUILDING/FACILITY/ZONE	DISCIPLINE
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PROJECT NR. / ABREV.	DATE
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PRW10	2023/02/17 13:03:34
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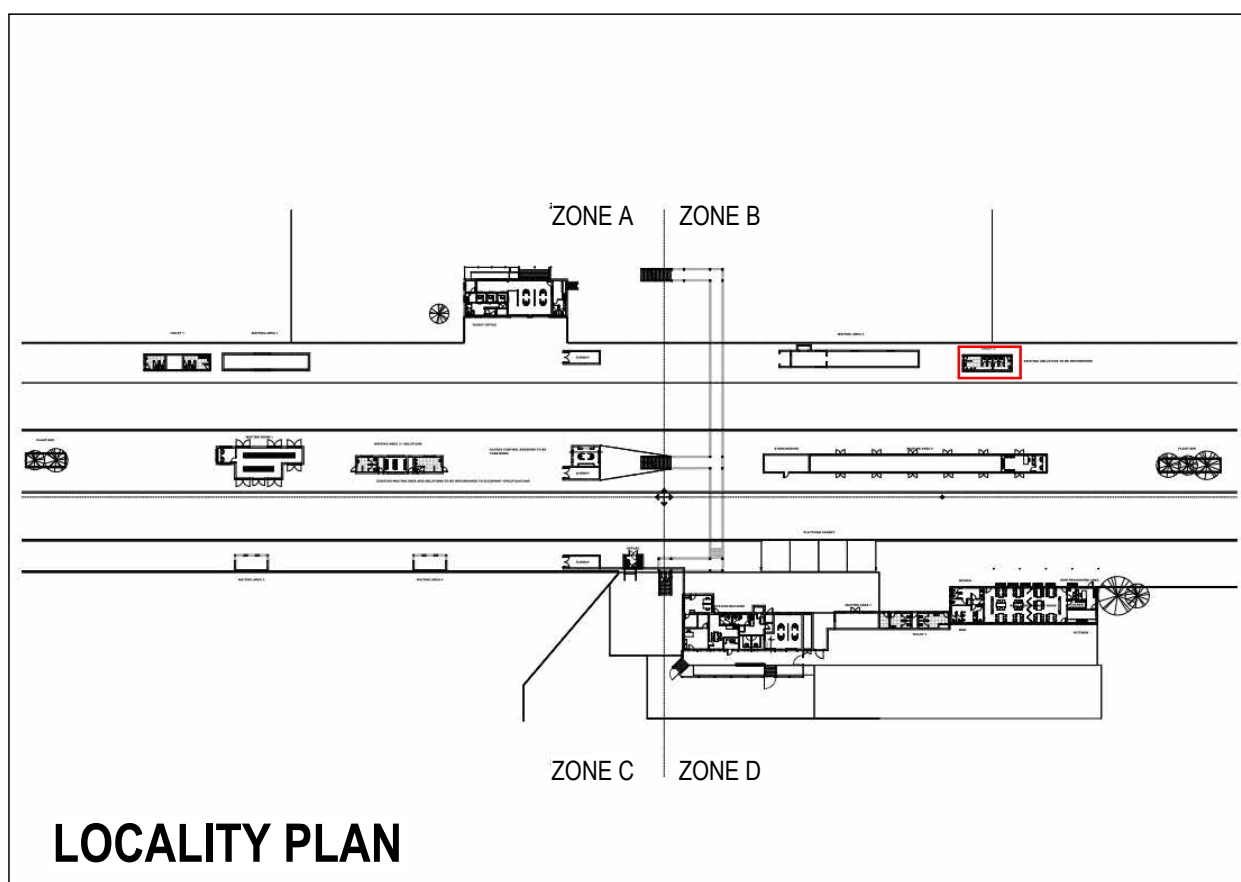
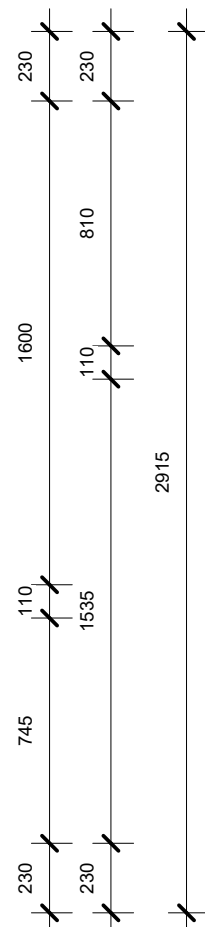
D: DRAFT / I: INFORMATION / L: COUNCIL / T: TENDER / F: FINAL / C: CONSTRUCTION / A: AS-BUILT / R: REPORT

DRAWING NUMBER

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PRW10						032009		B
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SCALE 1 : 25



LOCALITY PLAN

FOR TENDER

A GROUND STOREY PLAN - ZONE B - TOILET 2

SCALE - 1 : 25

GENERAL NOTES

FOUNDATIONS:
To be constructed in accordance with Part H of SANS 10400, and strictly to structural engineer's detail & specification. All trenches and concrete to approved standards and checked by the building inspector and structural engineer.

WALLS:
Foundation walling: to Structural Engineers detail & specification. All cavities to be filled with concrete to surface bed level. All brickwork to be imperial ROKs (110 x 220 x 75).

MASONRY:
To be constructed in accordance with Part K of SANS 10400.
280 mm cavity masonry walls to Structural Eng detail and spec. With rock in west reach 1000X200.5 Flashed and painted externally and internally. Beamfilling to underside of roof sheets.

LINTOLS: Precast R.C. lintols for all openings not exceeding 3000. Lintols to extend min 250mm beyond opening. Min 4 x courses brickwork above with brickforce in each course.

EXPANSION JOINTS
Expansion joints to be provided between existing and new brickwork. Expansion joints at max 10m of free-standing wall, all in accordance with Structural Eng detail & spec.

STRUCTURAL TIMBERS
All to be boron treated V4 or better SA pine or gum.

FLOORS:
To be constructed in accordance with part J of SANS 10400
All R/C slabs to be constructed in accordance with Structural Engineer's details.

ROOF:
To be constructed in accordance with Part L of SANS 10400 as well as SABS 062

DOORS AND WINDOWS:
To be constructed in accordance with SANS 10400.

GLAZING:
4mm clear glazing to all doors & windows, unless specified otherwise. All glazed elements exceeding 1m², or that is less than 1m above FFL, to be 6.4mm laminated safety glass in accordance with Part N of SANS 10400.

DRAINAGE & STORMWATER:
To be constructed in accordance with Part P of SANS 10400. All drainage passing under any portion of the building to be encased in min 100mm concrete. All waste pipes To be min 40mmØ.

CEILINGS AND HEADROOM:
All ceilings to conform with part CC3.2 table 2 of SANS 10400 min. 2100mm head room at all sanitary fittings.

WORKMANSHIP:
All work to local authority building regulations. Workmanship to be of highest standard and comply with all SABS and relevant specified standards for fixing/finishing.

OCCUPATIONALS HEALTH / SAFETY ACT:
All works to comply with the Occupational Health and Safety Act - the building site to be managed and maintained in accordance with the above.

ENVIRONMENTAL REQUIREMENTS:
Fenestration area is less than 15% of Nett floor area per storey in accordance with SANS XA 4.4.4
Roof lighting area is between 1.5% & 10% of Area of served space in accordance with SANS 204:2011

STAIRS:
Treads will not be less than 250mm and any riser will not exceed 200mm in height. Provided that each step of the stairway shall be such that the sum of the tread and twice the riser is not less than 570mm and not more than 650mm.

CLIENT



PROJECT MANAGERS



B	2023.02.17	Issued for Approval
A	2022.11.30	Stage 3 Design Sign Off
No.	Date	Description

CLIENT INFORMATION

SIGNATURE:
SIGNATURE:

DRAWING CHECKS

DESIGNED BY: T GUMEDE
DRAWN BY: D MILLS
DESIGN CHECKED BY: T GUMEDE
DRAWING CHECKED BY: T GUMEDE

APPROVAL CONSULTANT

NAME: T GUMEDE PROF REG. No.: 24671652
REGISTERED: PrArch SIGNATURE:

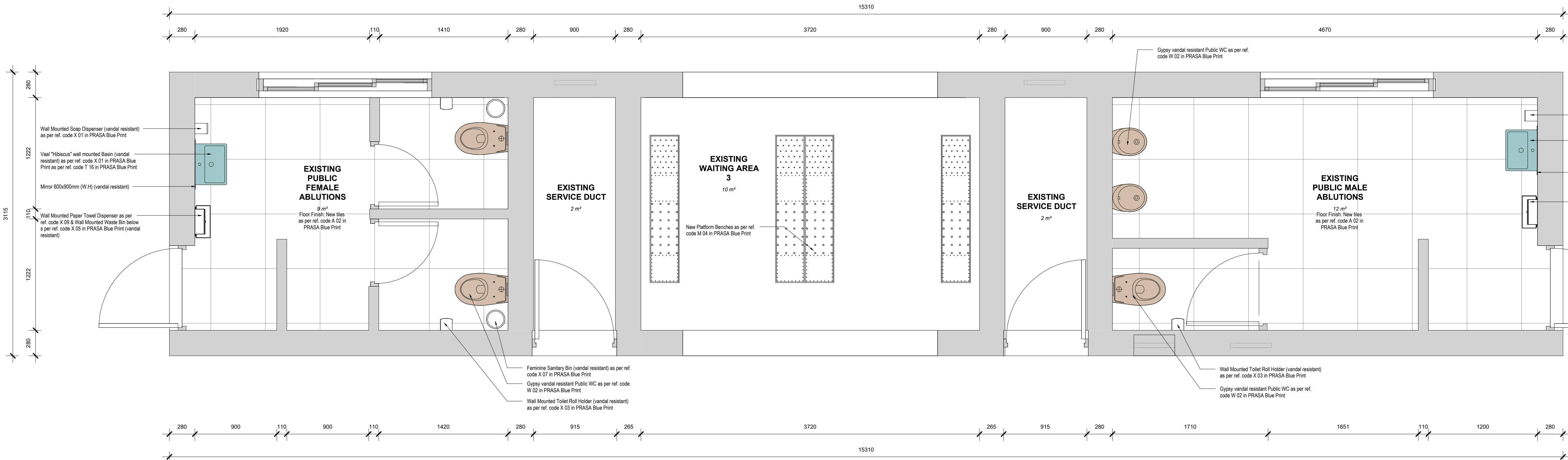
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DESIGNSCAPE
architects

109 Waterkant St, De Waterkant,
Cape Town, 8001

PROJECT TITLE:	PAROW STATION
DESCRIPTION:	REFURBISHMENT OF PAROW STATION
ERF NUMBER:	9018, 9026, 9017, 18752
LOCATION:	Parow, Cape Town, 7500
DRAWING TITLE	WAITING AREA 3 / ABLUTIONS
BUILDING/FACILITY/ZONE	DISCIPLINE
PROJECT NR. / ABREV.	DATE
PRW10	2023/02/17 13:03:36
DRAWING NUMBER	
PROJECT ORG.	ZONE LEVEL TYPE ROLE SERIAL NO. STAT. REV
PRW10	032010 B
SCALE	1 : 25

2023/02/17 13:03:36



LOCALITY PLAN

FOR TENDER

GROUND STOREY PLAN - ZONE C - WAITING AREA 3 / ABLUTIONS

SCALE - 1 : 25

FOUNDATIONS:
To be constructed in accordance with Part K of SANS 10400, and strictly to structural engineer's detail & specification. All trenches and concrete to be approved standards and checked by the building inspector and structural engineer. All concrete to surface level and up. All brickwork to be cavity Roka (110 x 220 x 75).

WALLS:
Foundation walling to Structural Engineer detail & specification. All cavity Roka (110 x 220 x 75) concrete to surface level and up. All brickwork to be approved standards and checked by the building inspector and structural engineer. All concrete to surface level and up. All brickwork to be cavity Roka (110 x 220 x 75).

MASONRY:
To be constructed in accordance with Part K of SANS 10400.
280mm cavity masonry walls to Structural Engineer detail and spec. With rock in concrete. All concrete to surface level and up. All brickwork to be approved standards and checked by the building inspector and structural engineer. All concrete to surface level and up. All brickwork to be cavity Roka (110 x 220 x 75).

CEILING:
To be constructed in accordance with Part K of SANS 10400.
280mm cavity masonry walls to Structural Engineer detail and spec. With rock in concrete. All concrete to surface level and up. All brickwork to be approved standards and checked by the building inspector and structural engineer. All concrete to surface level and up. All brickwork to be cavity Roka (110 x 220 x 75).

INTERIORS:
To be constructed in accordance with Part K of SANS 10400.
280mm cavity masonry walls to Structural Engineer detail and spec. With rock in concrete. All concrete to surface level and up. All brickwork to be approved standards and checked by the building inspector and structural engineer. All concrete to surface level and up. All brickwork to be cavity Roka (110 x 220 x 75).

EXPANSION JOINTS:
Expansion joints to be provided between existing and new brickwork.
Expansion joints to be provided between existing and new brickwork.
Expansion joints to be provided between existing and new brickwork.
Expansion joints to be provided between existing and new brickwork.

STRUCTURAL TIMBERS:
All to be bonded with or better S.A. pine or gum.

FLOORS:
To be constructed in accordance with part of SANS 10400
All concrete to be constructed in accordance with Structural Engineer's details.

ROOF:
To be constructed in accordance with Part K of SANS 10400 as well as SANS 062

DOORS AND WINDOWS:
To be constructed in accordance with SANS 10400.

GLAZING:
4mm clear glazing to all doors & windows, unless specified otherwise.
All glazing exceeding 1m², or that is less than 1m above floor, to be in accordance with SANS 10400.
All glazing exceeding 1m², or that is less than 1m above floor, to be in accordance with SANS 10400.

DRAINAGE & STORMWATER:
To be constructed in accordance with Part F of SANS 10400. All drainage to be constructed in accordance with Part F of SANS 10400. All drainage to be constructed in accordance with Part F of SANS 10400. All drainage to be constructed in accordance with Part F of SANS 10400.

CEILING AND HEADROOM:
All ceiling to be constructed in accordance with Part K of SANS 10400.
2100mm head room to all sanitary fittings.

WORKMANSHIP:
All work to local authority building regulations. Workmanship to be of highest standard and comply with all SANS and relevant specification standards for working finish.

OCCUPATIONS, HEALTH & SAFETY ACT:
All buildings to be constructed in accordance with the Occupational Health and Safety Act.
The building site to be managed and maintained in accordance with the above.

ENVIRONMENTAL REQUIREMENTS:
All buildings to be constructed in accordance with the Environmental Health and Safety Act.
The building site to be managed and maintained in accordance with the above.

STAIRS:
To be constructed in accordance with Part K of SANS 10400.
280mm cavity masonry walls to Structural Engineer detail and spec. With rock in concrete. All concrete to surface level and up. All brickwork to be approved standards and checked by the building inspector and structural engineer. All concrete to surface level and up. All brickwork to be cavity Roka (110 x 220 x 75).

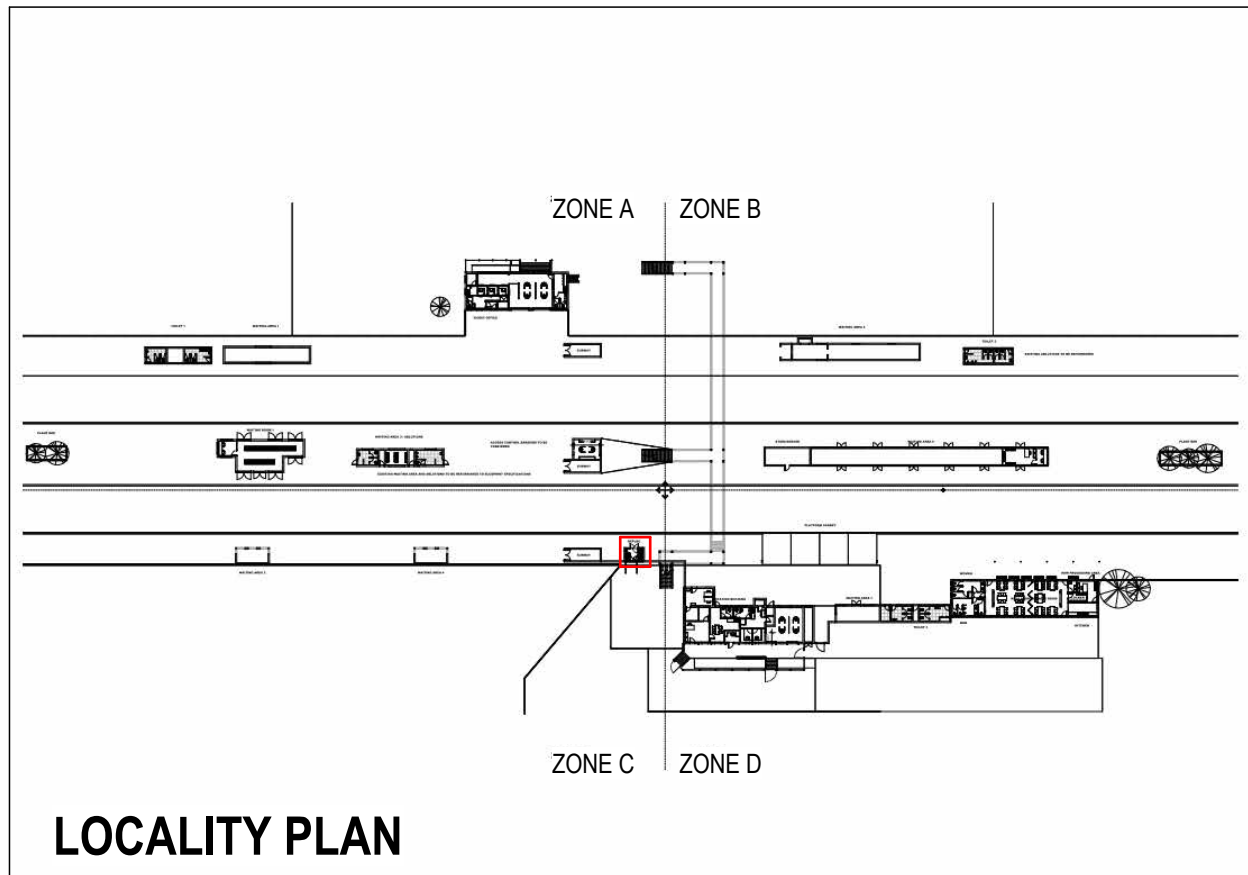
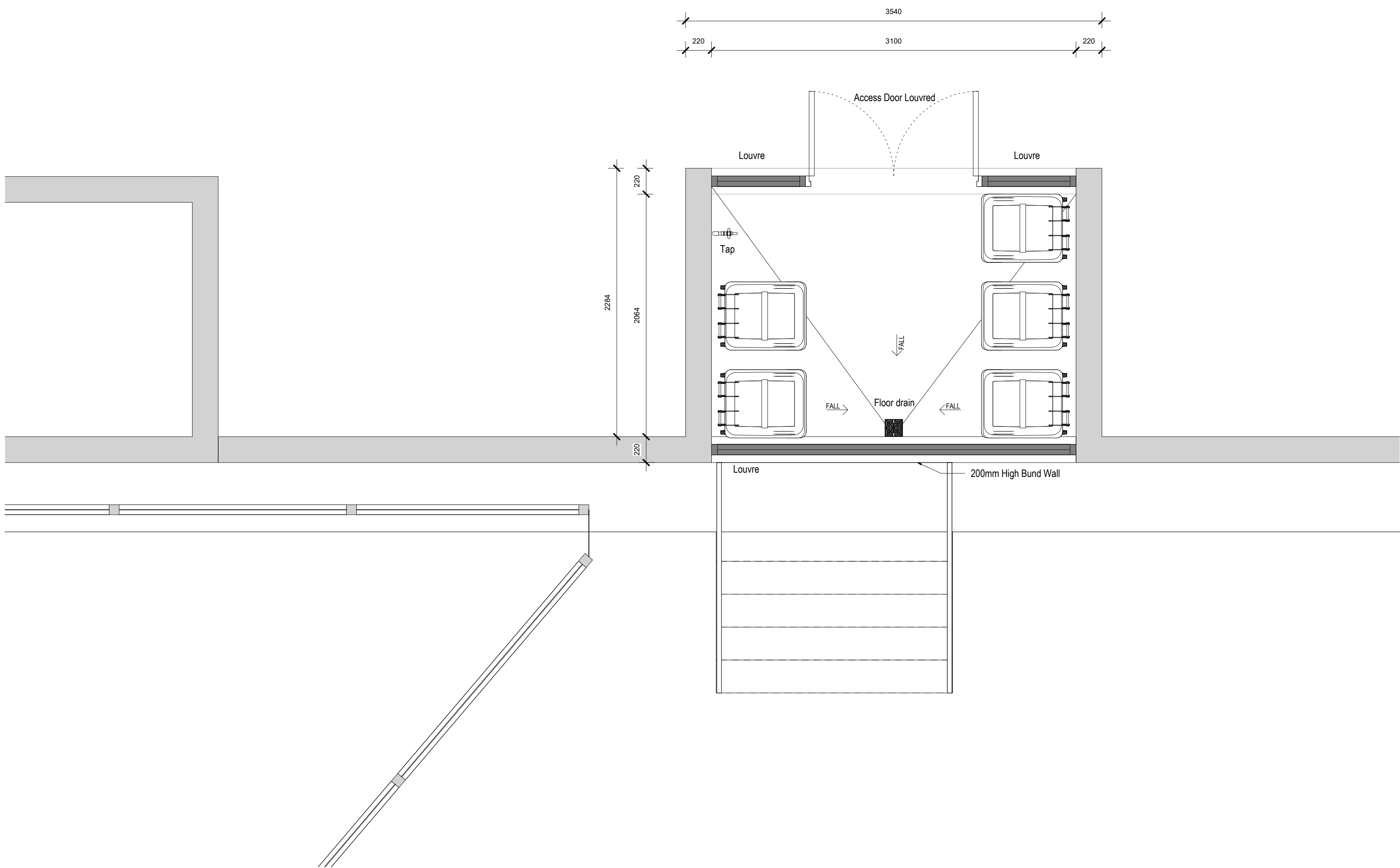


KITSO BOTLHALE
CONSULTING ENGINEERS

CLIENT INFORMATION	
	SIGNATURE:
	SIGNATURE:
DRAWING CHECKS	
DESIGNED BY:	T GUMEDE
DRAWN BY:	D MILLS
DESIGN CHECKED BY:	T GUMEDE
DRAWING CHECKED BY:	T GUMEDE
APPROVAL CONSULANT	
NAME: T GUMEDE	PROF REG. No.: 24671652
REGISTERED: Prārch	SIGNATURE:

DESIGNSCAPE
architects

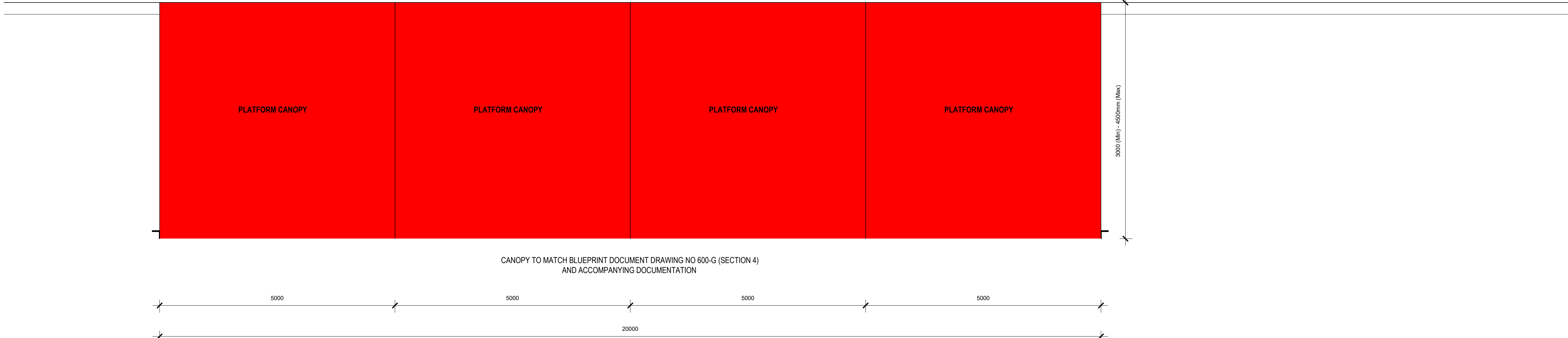
PROJECT TITLE: PAROW STATION									
DESCRIPTION: REFURBISHMENT OF PAROW STATION									
ERF NUMBER: 9018, 9026, 9017, 18752									
LOCATION: Parow, Cape Town, 7500									
DRAWING TITLE REFUSE AREA									
BUILDING/FACILITY/ZONE					DISCIPLINE				
PROJECT NR. / ABBREV. PRW10					DATE 2022/02/17 13:03:38				
DRAWING INFORMATION (LOCALITY / TENDER / FINAL / CONSTRUCTION / AS-BUILT / RE-REPORT)									
DRAWING NUMBER									
PROJECT	ORIG	ZONE	LEVEL	TYPE	ROLE	SERIAL NO	STAT	REV	C
						032011			
SCALE								1 : 25	



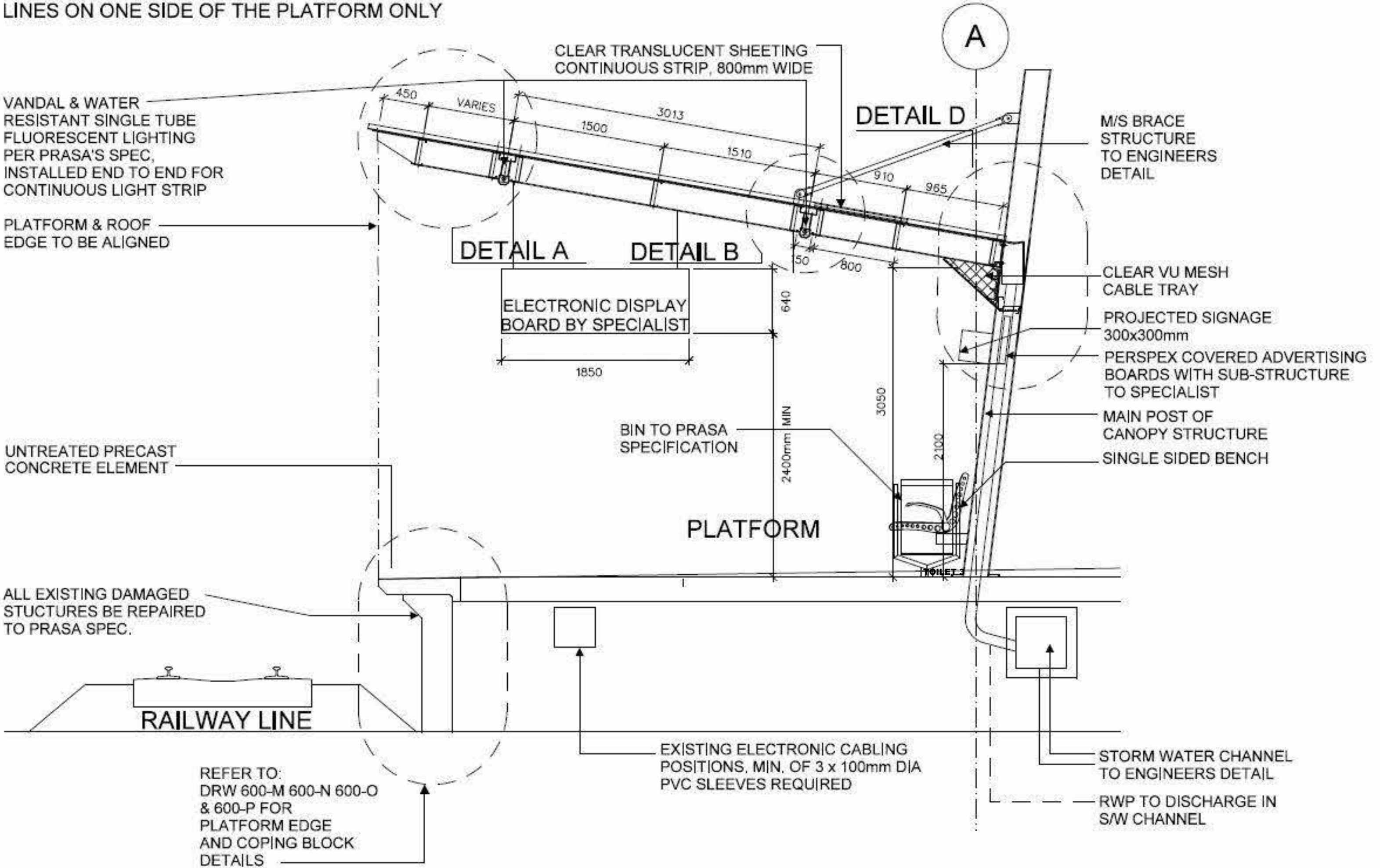
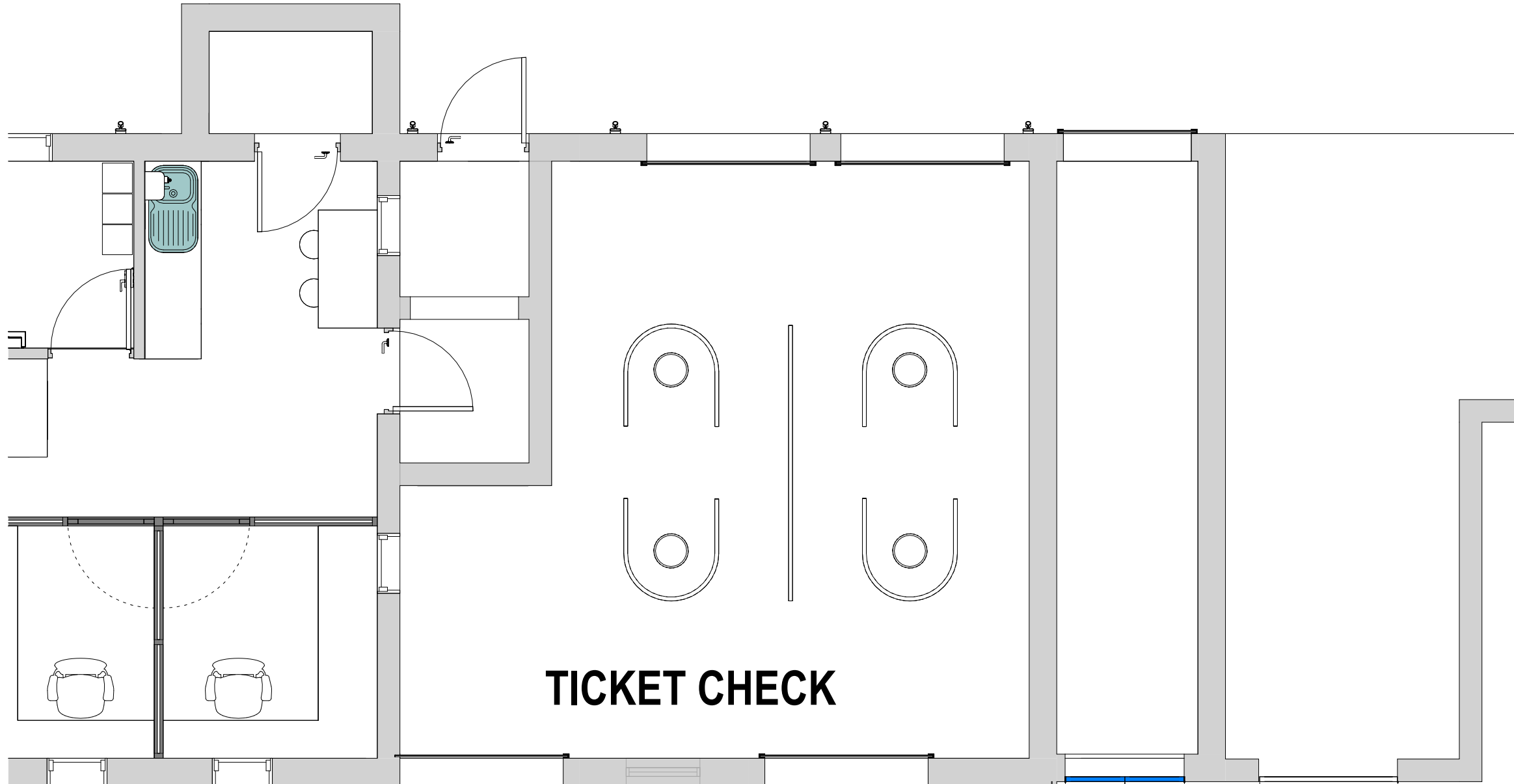
1 : 25

A
032011

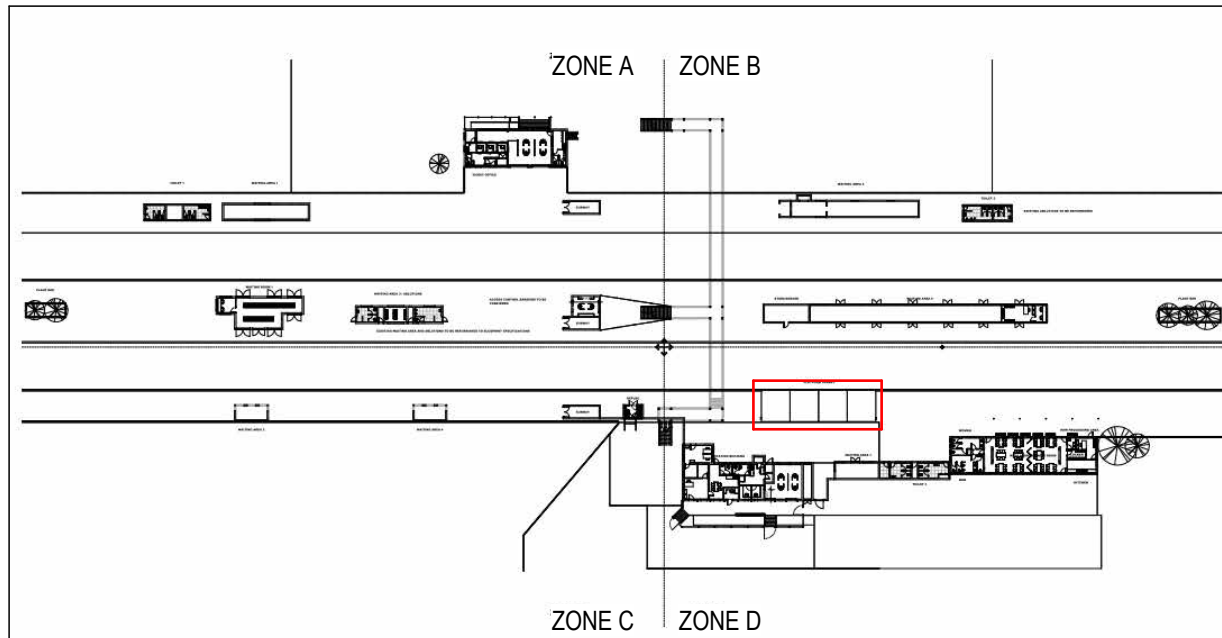
SCALE - 1 : 25



NOTE : THIS DETAIL TO BE USED WHERE THERE ARE RAILWAY LINES ON ONE SIDE OF THE PLATFORM ONLY



TYPICAL SECTION - ALTERNATIVE PLATFORM AND CANOPY



GENERAL NOTES

- FOUNDATIONS:**
To be constructed in accordance with Part H of SANS 10400, and strictly to structural engineer's detail & specification. All trenches and concrete to approved standards and checked by the building inspector and structural engineer.
- WALLS:**
Foundation walling: to Structural Engineers detail & specification. All cavities to be filled with concrete to surface bed level. All brickwork to be imperial ROKs (110 x 220 x 75).
- MASONRY:**
To be constructed in accordance with Part K of SANS 10400.
280 mm cavity masonry walls to Structural Eng detail and spec. With rock in wall mesh 1000X200.5 Flashed and painted externally and internally. Beamfilling to underside of roof sheets.
- LINTOLS:** Precast R.C. lintols for all openings not exceeding 3000. Lintols to extend min 250mm beyond opening. Min 4 x courses brickwork above with brickforce in each course.
- EXPANSION JOINTS**
Expansion joints to be provided between existing and new brickwork. Expansion joints at max 10m of free-standing wall, all in accordance with Structural Eng detail & spec.
- STRUCTURAL TIMBERS**
All to be boron treated V4 or better SA pine or gum.
- FLOORS:**
To be constructed in accordance with part J of SANS 10400
All R/C slabs to be constructed in accordance with Structural Engineer's details.
- ROOF:**
To be constructed in accordance with Part L of SANS 10400 as well as SABS 062
- DOORS AND WINDOWS:**
To be constructed in accordance with SANS 10400.
- GLAZING:**
4mm clear glazing to all doors & windows, unless specified otherwise. All glazed elements exceeding 1m², or that is less than 1m above FFL, to be 6.4mm laminated safety glass in accordance with Part N of SANS 10400.
- DRAINAGE & STORMWATER:**
To be constructed in accordance with Part P of SANS 10400. All drainage passing under any portion of the building to be encased in min 100mm concrete. All waste pipes To be min 40mmØ.
- CEILINGS AND HEADROOM:**
All ceilings to conform with part CC3.2 table 2 of SANS 10400 min. 2100mm head room at all sanitary fittings.
- WORKMANSHIP:**
All work to local authority building regulations. Workmanship to be of highest standard and comply with all SABS and relevant specified standards for fixing/finishing.
- OCCUPATIONALS HEALTH / SAFETY ACT:**
All works to comply with the Occupational Health and Safety Act - the building site to be managed and maintained in accordance with the above.
- ENVIRONMENTAL REQUIREMENTS:**
Fenestration area is less than 10% of Net floor area per storey in accordance with SANS XA 4.4.4
Roof lighting area is between 1.5% & 10% of Area of served space in accordance with SANS 204:2011
- STAIRS:**
Treads will not be less than 250mm and any riser will not exceed 200mm in height. Provided that each step of the stairway shall be such that the sum of the tread and twice the riser is not less than 570mm and not more than 650mm.

CLIENT



PROJECT MANAGERS



B	2023.02.17	Issued for Approval
A	2022.11.30	Stage 3 Design Sign Off
No.	Date	Description

CLIENT INFORMATION

SIGNATURE:
SIGNATURE:

DRAWING CHECKS

DESIGNED BY: T GUMEDE
DRAWN BY: D MILLS
DESIGN CHECKED BY: T GUMEDE
DRAWING CHECKED BY: T GUMEDE

APPROVAL CONSULTANT

NAME: T GUMEDE PROF REG. No: 24671652
REGISTERED: PrArch SIGNATURE:

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DESIGNSCAPE
architects

109 Waterkant St, De Waterkant,
Cape Town, 8001

PROJECT TITLE: PAROW STATION

DESCRIPTION: REFURBISHMENT OF PAROW STATION

ERF NUMBER: 9018, 9026, 9017, 18752

LOCATION: Parow, Cape Town, 7500

DRAWING TITLE PLATFORM CANOPY

BUILDING/FACILITY/ZONE

DISCIPLINE

PROJECT NR. / ABREV.

DATE

PRW10 2023/02/17 13:03:41

DRAWING NUMBER

PROJECT	ORIG.	ZONE	LEVEL	TYPE	ROLE	SERIAL NO.	STAT.	REV.
PRW10						032012	B	

SCALE

1 : 50

FOR TENDER

FOUNDATIONS:
To be constructed in accordance with Part K of SANS 10400, and strictly to structural engineer's detail & specification. All trenches and concrete to approved standards and checked by the building inspector and structural engineer. All concrete to surface level and above. All brickwork to be cavity Roka (110 x 220 x 75).

WALLS:
Foundation walling to Structural Engineer detail & specification. All cavity Roka (110 x 220 x 75) concrete to surface level and above. All brickwork to be approved Roka (110 x 220 x 75).

MASONRY:
To be constructed in accordance with Part K of SANS 10400.
280mm cavity masonry walls to Structural Engineer detail and spec. With rock in concrete. All concrete to be finished and painted externally and internally. Linings to be finished of roof sheets.

BUILDINGS:
Pitcairic RC lintels for all openings not exceeding 3000. Lintels to be finished with 10mm of rendering. Min 4 courses brickwork above with brickface in concrete finish.

EXPANSION JOINTS
Expansion joints to be provided between existing and new brickwork.
Expansion joints to be 10mm of free space with sealant.
Expansion Joints detail & spec.

STRUCTURAL TIMBERS
All to be bonded with or better SCA pine or gum.

FLOORS:
To be constructed in accordance with part J of SANS 10400
All RC slabs to be constructed in accordance with Structural Engineer's details.

ROOF:
To be constructed in accordance with Part K of SANS 10400 as well as SANS 062

DOORS AND WINDOWS:
To be constructed in accordance with SANS 10400.

GLAZING:
4mm clear glazing to all doors & windows, unless specified otherwise.
All glazed openings exceeding 1m², or that is less than 1m above FF, to be protected with safety glass in accordance with Part K of SANS 10400.

DRAINAGE & STORMWATER:
To be constructed in accordance with Part F of SANS 10400. All drainage to be constructed in accordance with Occupational Health and Safety Act. All waste pipes to be min 40mm dia.

Ceilings and HEADROOM:
All ceilings to be constructed in accordance with Part K of SANS 10400.
2100mm head room at all sanitary fittings.

WORKMANSHIP:
All work to local authority building regulations. Workmanship to be of highest standard and comply with all SANS and relevant specification standards for 'strong finishing'.

OCCUPATIONAL HEALTH & SAFETY ACT:
All buildings to be constructed in accordance with Occupational Health and Safety Act - the building site to be managed & maintained in accordance with the above.

ENVIRONMENTAL REQUIREMENTS:
All construction area is less than 10% of Net floor area per servency in accordance with SANS XA 4.4.4.
All construction area is less than 10% of Net floor area per servency in accordance with SANS 204 2011.

STAIRS:
Stairs will not be less than 2500mm and any riser will not exceed 150mm in height. Provided that each rise of the stairway shall be such that the sum of the tread and twice the rise is not less than 2500mm and not more than 2600mm.

CLIENT



PROJECT MANAGERS



B	2023.02.17	Issued for Approval
A	2023.02.06	Issued for Preliminary Approval
No.	Date.	Description.

CLIENT INFORMATION

SIGNATURE:

SIGNATURE:

DRAWING CHECKS

DESIGNED BY:

DRAWN BY:

DESIGN CHECKED BY: _____

APPROVAL CONSULTANT

NAME: T GUM

REGISTERED: PLATON

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DESIGN SCAPE ARCHITECTS**

DESIGNSCAPE
architects

109 Waterkant St, De Waterkant,
Cape Town, 8001

PROJECT TITLE: PAROW STATION

DESCRIPTION: REFURBISHMENT OF PAROW STATION

ERF NUMBER: 9018, 9026, 9017, 18752

LOCATION: Parow, Cape Town, 7500

DRAWING TITLE
**WAITING AREA 6 /
PROCESSING AREA**

BUILDING/FACILITY/ZONE

DISCIPLINE

PROJECT NR. / ABREV.

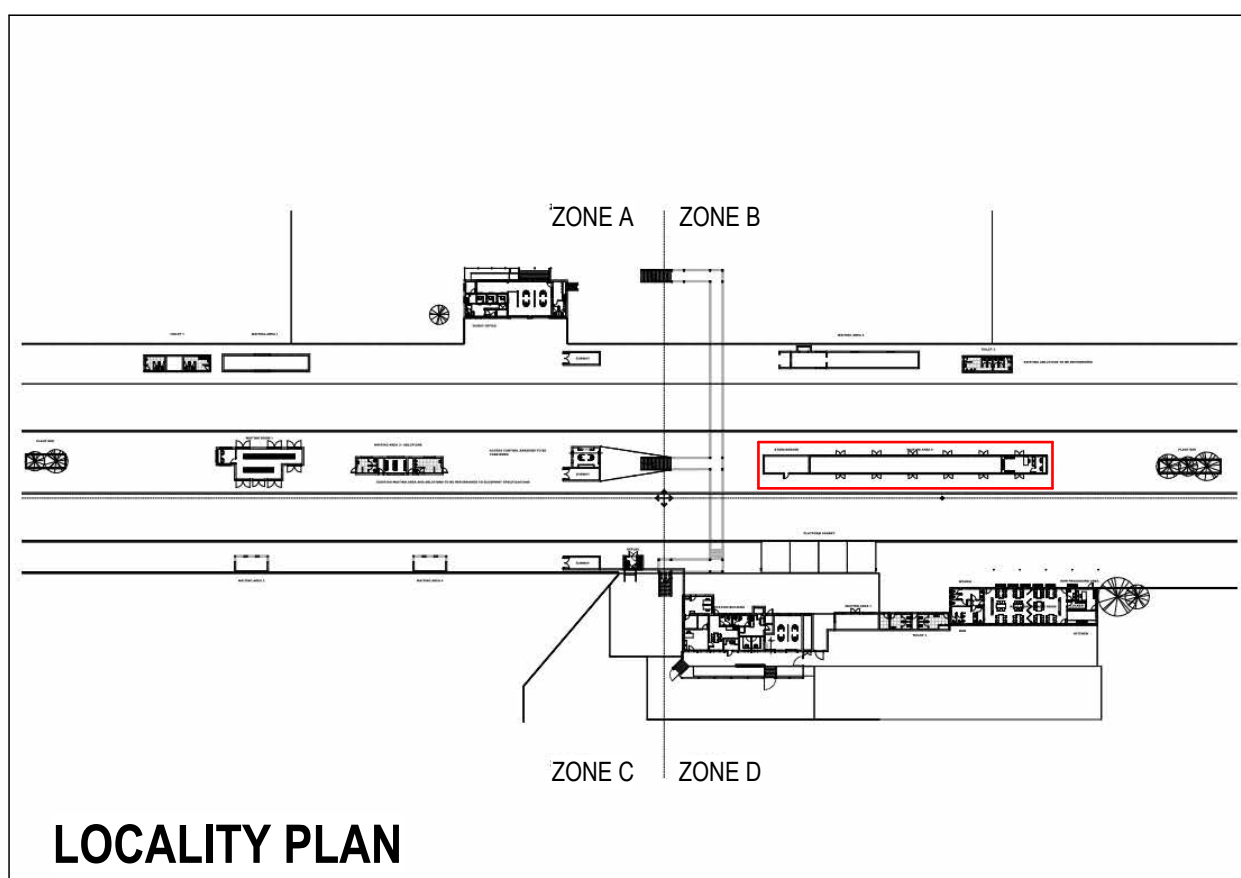
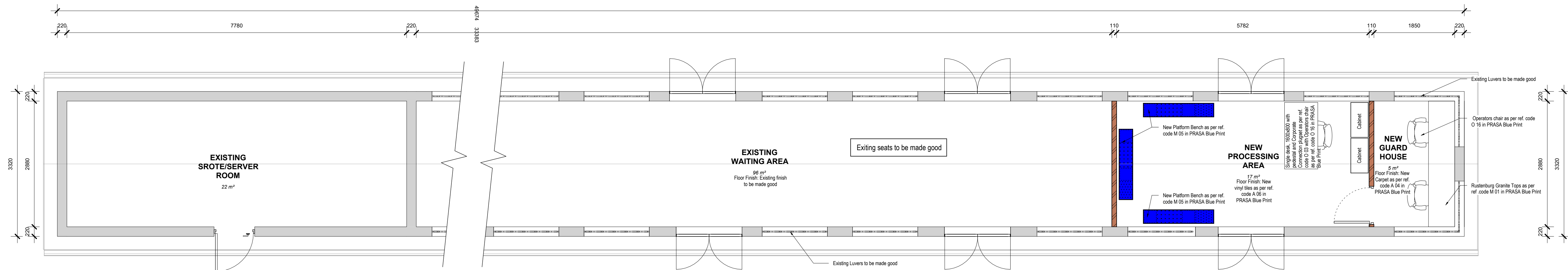
DATE _____

D: DRAFT / I: INFORMATION / L: COUNCIL / T: TENDER / F: FINAL / C: CONSTRUCTION / A: AS-BUILT / R: REPORT

DRAWING NUMBER							

SCALE

1:5



LOCALITY PLAN

FOR TENDER

RESULTS REPORT		
Q.	STAT.	REV.
		B
1:50		

A

032013

GROUND STOREY PLAN - ZONE B - WAITING AREA 6

SCALE - 1 : 50

GENERAL NOTES

FOUNDATIONS:
To be constructed in accordance with Part H of SANS 10400, and strictly to structural engineer's detail & specification. All trenches and concrete to approved standards and checked by the building inspector and structural engineer.

WALLS:
Foundation walling: to Structural Engineers detail & specification. All cavities to be filled with concrete to surface bed level. All brickwork to be imperial ROKs (110 x 220 x 75).

MASONRY:
To be constructed in accordance with Part K of SANS 10400.
280 mm cavity masonry walls to Structural Eng detail and spec. With rock in wall mesh 1000X200.5 Flashed and painted externally and internally. Beamfilling to underside of roof sheets.

LINTOLS: Precast R.C. lintols for all openings not exceeding 3000. Lintols to extend min 250mm beyond opening. Min 4 x courses brickwork above with brickforce in each course.

EXPANSION JOINTS
Expansion joints to be provided between existing and new brickwork. Expansion joints at max 10m of free-standing wall, all in accordance with Structural Eng detail & spec.

STRUCTURAL TIMBERS
All to be locor treated V4 or better SA pine or gum.

FLOORS:
To be constructed in accordance with part J of SANS 10400
All R/C slabs to be constructed in accordance with Structural Engineer's details.

ROOF:
To be constructed in accordance with Part L of SANS 10400 as well as SABS 062

DOORS AND WINDOWS:
To be constructed in accordance with SANS 10400.

GLAZING:
4mm clear glazing to all doors & windows, unless specified otherwise. All glazed elements exceeding 1m², or that is less than 1m above FFL, to be 6.4mm laminated safety glass in accordance with Part N of SANS 10400.

DRAINAGE & STORMWATER:
To be constructed in accordance with Part P of SANS 10400. All drainage passing under any portion of the building to be encased in min 100mm concrete. All waste pipes To be min 40mmØ.

CEILINGS AND HEADROOM:
All ceilings to conform with part CC3.2 table 2 of SANS 10400 min. 2100mm head room at all sanitary fittings.

WORKMANSHIP:
All work to local authority building regulations. Workmanship to be of highest standard and comply with all SABS and relevant specified standards for fixing/finishing.

OCCUPATIONALS HEALTH / SAFETY ACT:
All works to comply with the Occupational Health and Safety Act - the building site to be managed and maintained in accordance with the above.

ENVIRONMENTAL REQUIREMENTS:
Fenestration area is less than 15% of Nett floor area per storey in accordance with SANS XA 4.4.4
Roof lighting area is between 1.5% & 10% of Area of served space in accordance with SANS 204:2011

STAIRS:
Treads will not be less than 250mm and any riser will not exceed 200mm in height. Provided that each step of the stairway shall be such that the sum of the tread and twice the riser is not less than 570mm and not more than 650mm.

CLIENT



PROJECT MANAGERS



B	2023.02.17	Issued for Approval
A	2023.02.06	Issued for Preliminary Approval

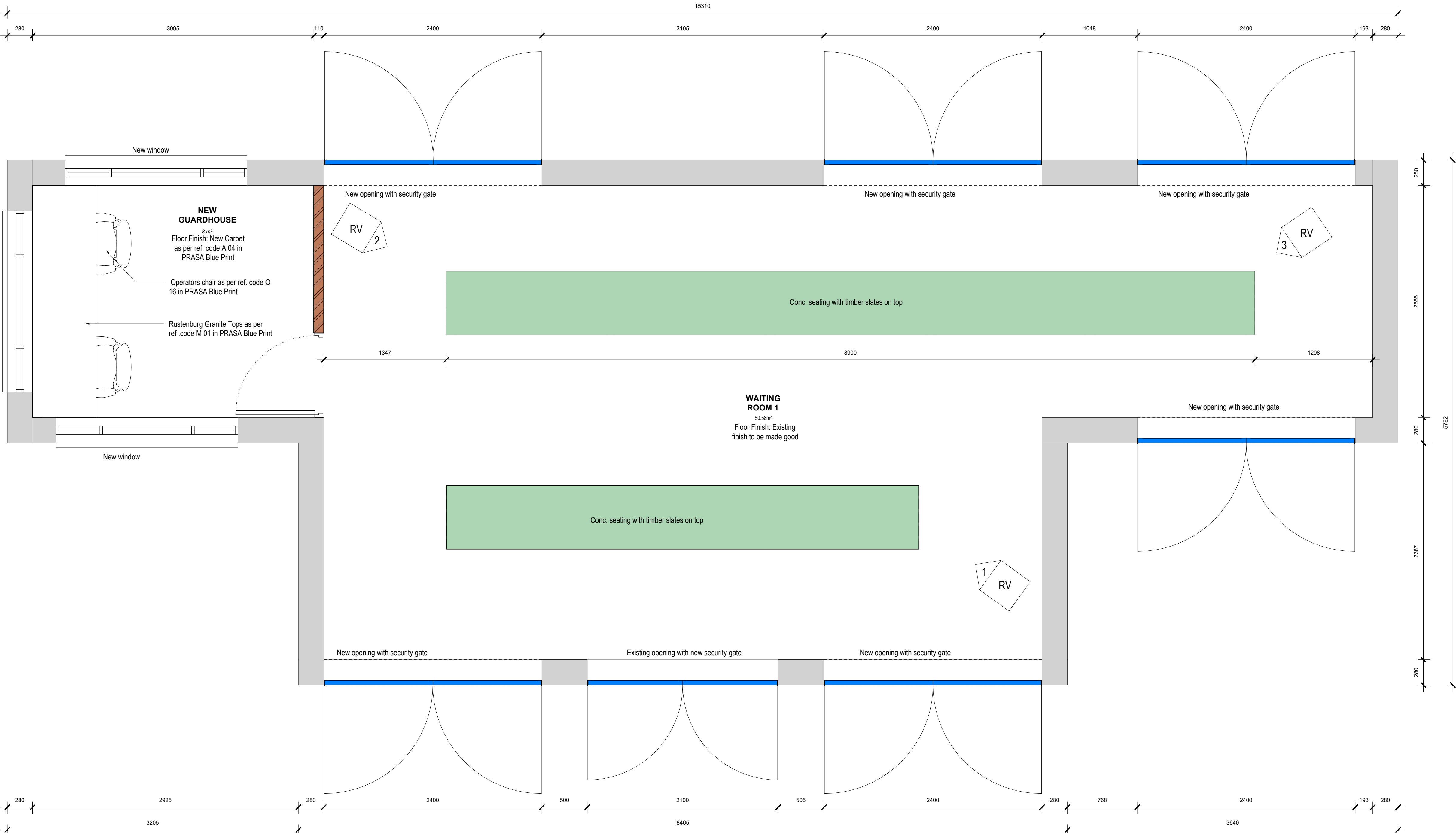
CLIENT INFORMATION		
	SIGNATURE:
	SIGNATURE:
DRAWING CHECKS		
DESIGNED BY:	T GUMEDE	
DRAWN BY:	D MILLS	
DESIGN CHECKED BY:	T GUMEDE	
DRAWING CHECKED BY:	T GUMEDE	
APPROVAL CONSULTANT		
NAME:	T GUMEDE	PROF REG. No.: 24671652
REGISTERED:	PrArch	SIGNATURE:

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DESIGNSCAPE
architects

109 Waterkant St, De Waterkant,
Cape Town, 8001

PROJECT TITLE: PAROW STATION									
DESCRIPTION: REFURBISHMENT OF PAROW STATION									
ERF NUMBER:		9018, 9026, 9017, 18752							
LOCATION:		Parow, Cape Town, 7500							
DRAWING TITLE WAITNG ROOM 1									
BUILDING/FACILITY/ZONE					DISCIPLINE				
PROJECT NR. / ABBREV. PRW10					DATE 2023/02/17 13:03:44				
DRAWING NUMBER									
D:DRAW / I:INFORMATION / L:COUNCIL / F:TENDER / F:FINAL / G:CONSTRUCTION / A:AS-BUILT/S:REPORT									
DRAWING NUMBER									
PROJECT	ORIG	ZONE	LEVEL	TYPE	ROLE	SERIAL NO	STAT	REV	
PRW10						032014	B		
SCALE								1 : 25	



A GROUND STOREY PLAN - ZONE A - WAITING ROOM 1

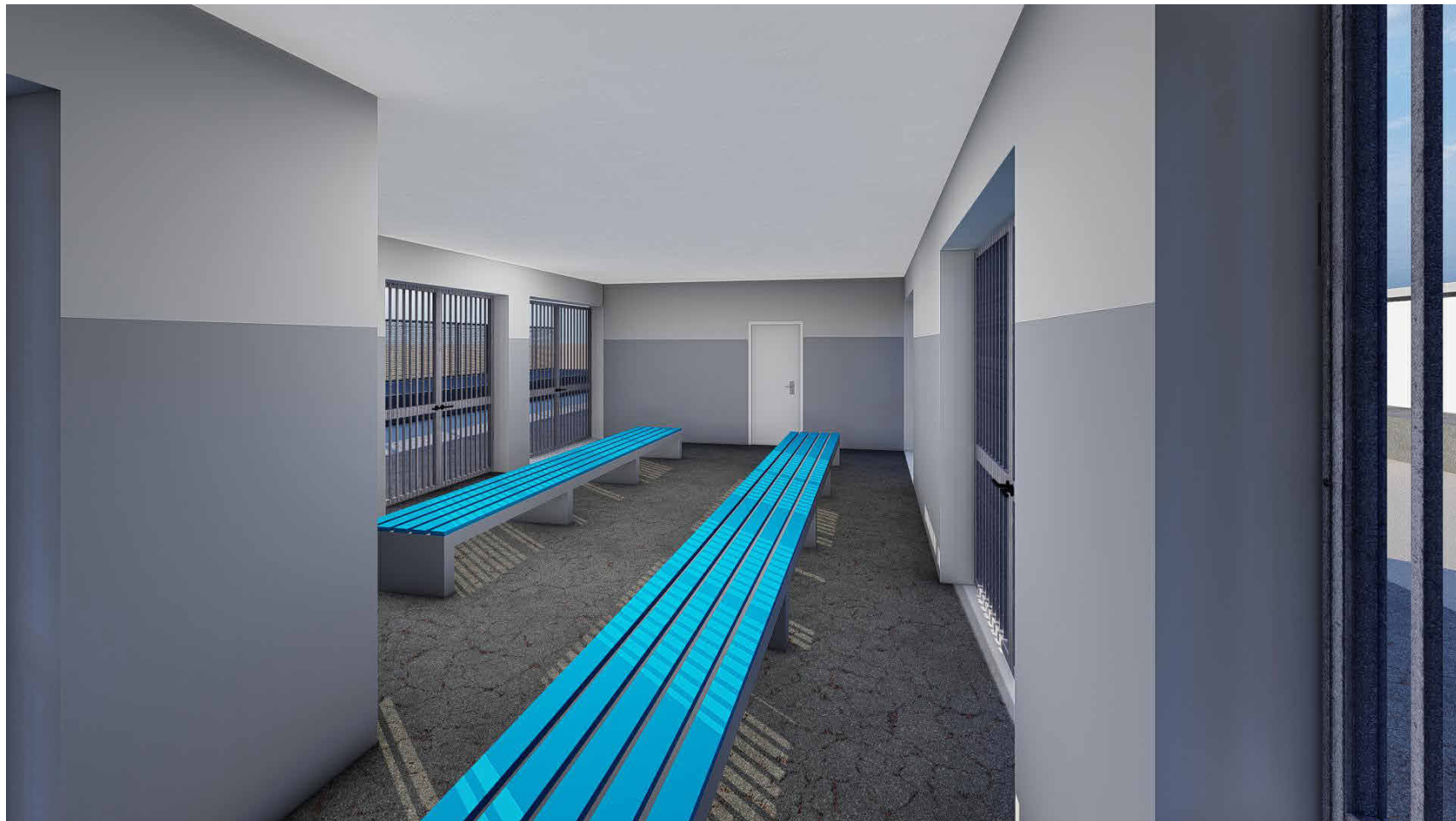
032014 SCALE - 1 : 25



WAITING ROOM 1 RENDERED VEIW 1

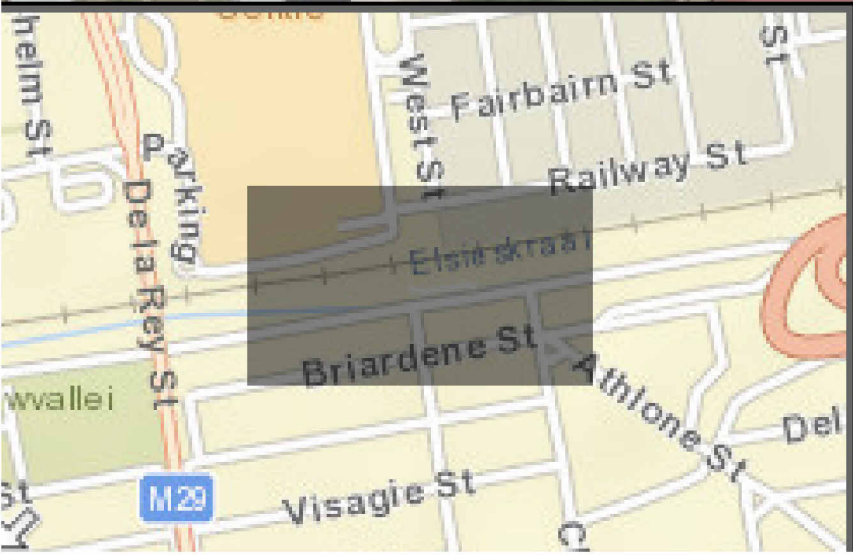


WAITING ROOM 1 RENDERED VEIW 2





WAITING ROOM 1 RENDERED VEIW 3

FOR TENDER



GENERAL NOTES	
FOUNDATIONS:	To be constructed in accordance with Part H of SANS 10400, and strictly to structural engineer's detail & specification. All trenches and concrete to approved standards and checked by the building inspector and structural engineer.
WALLS:	Foundation walling: to Structural Engineers detail & specification. All cavities to be filled with concrete to surface bed level. All brickwork to be imperial ROKs (110 x 220 x 75).
MASONRY:	To be constructed in accordance with Part K of SANS 10400. 280 mm cavity masonry walls to Structural Eng detail and spec. With rock in wall mesh 1000X200.5 Plastered and painted externally and internally. Beamfilling to underside of roof sheets.
LINTOLS:	Precast R.C. lintols for all openings not exceeding 3000. Lintols to extend min 250mm beyond opening. Min 4 x courses brickwork above with brickforce in each course.
EXPANSION JOINTS	Expansion joints to be provided between existing and new brickwork. Expansion joints at max 10m of free-standing wall, all in accordance with Structural Eng detail & spec.
STRUCTURAL TIMBERS	All to be boron treated V4 or better SA pine or gum.
FLOORS:	To be constructed in accordance with part J of SANS 10400. All R/C slabs to be constructed in accordance with Structural Engineer's details.
ROOF:	To be constructed in accordance with Part L of SANS 10400 as well as SABS 062.
DOORS AND WINDOWS:	To be constructed in accordance with SANS 10400.
GLAZING:	4mm clear glazing to all doors & windows, unless specified otherwise. All glazed elements exceeding 1m ² or that is less than 1m above F.F.L. to be 6.4mm laminated safety glass in accordance with Part N of SANS 10400.
DRAINAGE & STORMWATER:	To be constructed in accordance with Part P of SANS 10400. All drainage leading under any portion of the building to be encased in min 100mm concrete. All waste pipes To be min 40mm.
CEILINGS AND HEADROOM:	All ceilings to conform with part CC3.2 table 2 of SANS 10400 min. 2100mm head room at all sanitary fittings.
WORKMANSHIP:	All work to local authority building regulations. Workmanship to be of highest standard and comply with all SABS and relevant specified standards for fixing/finishing.
OCCUPATIONAL HEALTH / SAFETY ACT:	All work to comply with the Occupational Health and Safety Act - the building site to be managed and maintained in accordance with the above.
ENVIRONMENTAL REQUIREMENTS:	Penetration area is less than 15% of Net floor area per storey in accordance with SANS 5414:4.4. Roof lighting area is between 1.5% & 10% of Area of served space in accordance with SANS 204:2011.
STAIRS:	Treads will not be less than 250mm and any riser will not exceed 200mm in height. Provided that each step of the stairway shall be such that the sum of the tread and twice the riser is not less than 570mm and not more than 650mm.

CLIENT	
	
PROJECT MANAGERS	
	
No.	Date
CLIENT INFORMATION	
SIGNATURE:	
SIGNATURE:	
DRAWING CHECKS	
DESIGNED BY:	
DRAWN BY:	
DESIGN CHECKED BY:	
DRAWING CHECKED BY:	
APPROVAL CONSULTANT	
NAME:	PROF REG. No.:
REGISTERED:	SIGNATURE:
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DESIGNSCAPE architects

109 Waterkant St, De Waterkant, Cape Town, 8001

PROJECT TITLE: PAROW STATION	
DESCRIPTION: REFURBISHMENT OF PAROW STATION	
ERF NUMBER:	9018, 9026, 9017, 18752
LOCATION:	Parow, Cape Town, 7500
DRAWING TITLE	
SITE DEVELOPEMENT PLAN	
BUILDING/FACILITY/ZONE	
PROJECT NR. / ABBREV.	DATE
PRW10	2023/07/12 14:17:44
DRAWING NUMBER	
PROJECT	ORIG.
PRW10	010001
SCALE	
1 : 500	

FOR TENDER