





**GENERAL NOTES**

**FOUNDATIONS:**  
To be constructed in accordance with Part H of SANS 10400, and strictly to structural engineer's detail & specification. All trenches and concrete to approved standards and checked by the building inspector and structural engineer.

**WALLS:**  
Foundation walling to Structural Engineers detail & specification. All cavities to be filled with concrete to surface bed level. All brickwork to be imperial ROKs (110 x 220 x 75).

**MASONRY:**  
To be constructed in accordance with Part K of SANS 10400. 280 mm cavity masonry walls to Structural Eng detail and spec. With rock in wall mesh 100X200.5. Plastered and painted externally and internally. Beams/tiling to underside of roof sheets.

**LINTOLS:** Precast R.C. lintols for all openings not exceeding 3000. Lintols to extend min 200mm beyond opening in accordance with Part N of SANS 10400. Expansion joints at max 10m of free-standing wall, all in accordance with Structural Eng detail & spec.

**EXPANSION JOINTS:**  
Expansion joints to be provided between existing and new brickwork. Expansion joints at max 10m of free-standing wall, all in accordance with Structural Eng detail & spec.

**STRUCTURAL TIMBERS:**  
All to be boron treated V4 or better SA pine or gum.

**FLOORS:**  
To be constructed in accordance with part J of SANS 10400. All R/C slabs to be constructed in accordance with Structural Engineer's details.

**ROOF:**  
To be constructed in accordance with Part L of SANS 10400 as well as SABS 062.

**DOORS AND WINDOWS:**  
To be constructed in accordance with SANS 10400.

**GLAZING:**  
4mm clear glazing to all doors & windows, unless specified otherwise. All glazed elements exceeding 1m², or that is less than 1m above FFL, to be 6.4mm laminated safety glass in accordance with Part N of SANS 10400.

**DRAINAGE & STORMWATER:**  
To be constructed in accordance with Part P of SANS 10400. All drainage passing under any portion of the building to be enclosed in min 100mm concrete. All waste pipes to be min 40mmØ.

**CEILING AND HEADROOM:**  
All ceilings to conform with part CC3 table 2 of SANS 10400 min 2100mm in height. Provided that each step of the stairway shall be such that the sum of the tread and twice the riser is not less than 970mm and not more than 650mm.

**WORKMANSHIP:**  
All work to local authority building regulations. Workmanship to be of highest standard and comply with all SABS and relevant specified standards for fixing/finishing.

**OCCUPATIONAL HEALTH & SAFETY ACT:**  
All works to comply with the Occupational Health and Safety Act - the building site to be managed and maintained in accordance with the above.

**ENVIRONMENTAL REQUIREMENTS:**  
Ventilation area is less than 15% of Net floor area per storey in accordance with SANS XA 4.4.4. Floor lighting area is between 1.5% & 10% of Area of served space in accordance with SANS 244-2011.

**STAIRS:**  
Treads will not be less than 250mm and any riser will not exceed 200mm in height. Provided that each step of the stairway shall be such that the sum of the tread and twice the riser is not less than 970mm and not more than 650mm.

**CLIENT**

**PROJECT MANAGERS**

**A GROUND STOREY PLAN - ZONE D - MESS ROOM**  
032006 SCALE - 1 : 40



**MESS HALL RENDERED VEIW 1**



**MESS HALL RENDERED VEIW 2**



**MESS HALL RENDERED VEIW 3 (stacker doors closed)**



**MESS HALL RENDERED VEIW 3 (stacker doors open)**



**MESS HALL RENDERED VEIW 4**



**MESS HALL RENDERED VEIW 5**

C	2023 02 17	Issued for Approval
B	2023 02 06	Issued for Preliminary Approval
A	2022 11 30	Stage 3 Design Sign Off
No.	Date	Description
<b>CLIENT INFORMATION</b>		
SIGNATURE: .....		
SIGNATURE: .....		
<b>DRAWING CHECKS</b>		
DESIGNED BY:	T GUMEDE	
DRAWN BY:	D MILLS	
DESIGN CHECKED BY:	T GUMEDE	
DRAWING CHECKED BY:	T GUMEDE	
<b>APPROVAL CONSULTANT</b>		
NAME:	T GUMEDE	PROF REG. No.: 24671652
REGISTERED:	PArch	SIGNATURE: .....

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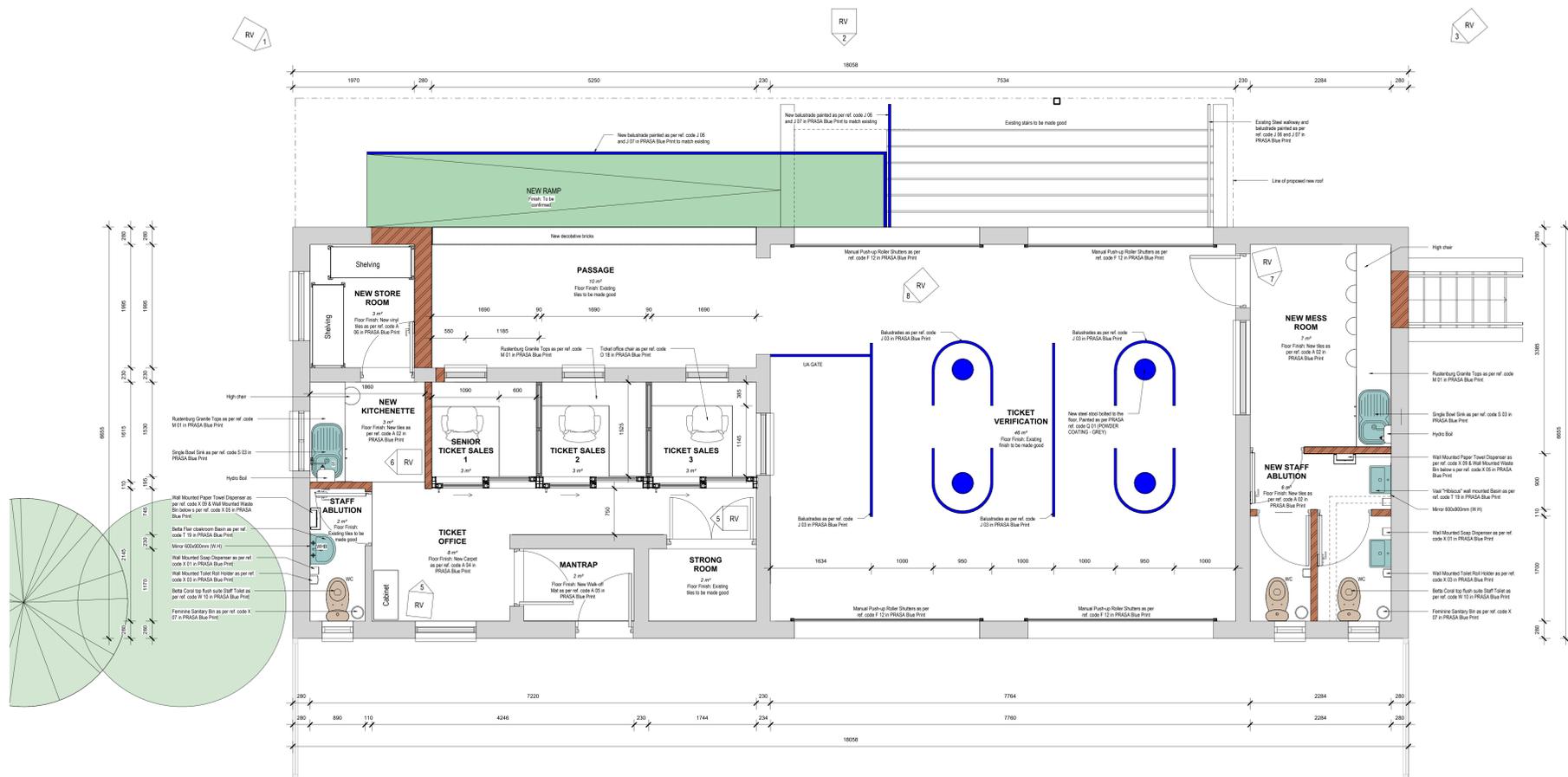
**DESIGNSCAPE** architects

109 Waterkant St, De Waterkant, Cape Town, 8001

<b>PROJECT TITLE:</b> PAROW STATION								
<b>DESCRIPTION:</b> REFURBISHMENT OF PAROW STATION								
<b>ERF NUMBER:</b>	9018, 9026, 9017, 18752							
<b>LOCATION:</b>	Parow, Cape Town, 7500							
<b>DRAWING TITLE</b>								
<b>MESS ROOM</b>								
<b>BUILDING/FACILITY/ZONE</b>	<b>DISCIPLINE</b>							
<b>PROJECT NR. / ABBREV.</b>	<b>DATE</b>							
PRW10	2023/02/17 13:03:19							
<b>DRAWING NUMBER</b>								
<b>PROJECT</b>	<b>ORIG.</b>	<b>ZONE</b>	<b>LEVEL</b>	<b>TYPE</b>	<b>ROLE</b>	<b>SERIAL NO.</b>	<b>STAT.</b>	<b>REV.</b>
PRW10						032006	C	

**FOR TENDER**

SCALE 1 : 40



**A GROUND STOREY PLAN - ZONE A - TICKET OFFICE**  
SCALE - 1 : 35



TICKET OFFICE RENDERED VEIW 1 (OPTION 1)



TICKET OFFICE RENDERED VEIW 2 (OPTION 1)



TICKET OFFICE RENDERED VEIW 3 (OPTION 1)



TICKET OFFICE RENDERED VEIW 1 (OPTION 2)



TICKET OFFICE RENDERED VEIW 2 (OPTION 2)



TICKET OFFICE RENDERED VEIW 3 (OPTION 2)



TICKET OFFICE RENDERED VEIW 4



TICKET OFFICE RENDERED VEIW 5



TICKET OFFICE RENDERED VEIW 6



TICKET OFFICE RENDERED VEIW 7



TICKET OFFICE RENDERED VEIW 8

**GENERAL NOTES**

**FOUNDATIONS:**  
To be constructed in accordance with Part N of SANS 10400 and shall be designed by a structural engineer & specialist. All services and conduits to be approved and checked by the building inspector and structural engineer.

**WALLS:**  
To be constructed in accordance with Part N of SANS 10400. All services to be approved and checked by the building inspector and structural engineer. Bearing to underside of roof slabs.

**ROOFING:**  
To be constructed in accordance with Part N of SANS 10400. All services to be approved and checked by the building inspector and structural engineer. All services to be approved and checked by the building inspector and structural engineer.

**EXPANSION JOINTS:**  
To be constructed in accordance with Part N of SANS 10400. All services to be approved and checked by the building inspector and structural engineer.

**STRUCTURAL TIMBERS:**  
To be constructed in accordance with Part N of SANS 10400. All services to be approved and checked by the building inspector and structural engineer.

**FLOORS:**  
To be constructed in accordance with Part N of SANS 10400. All services to be approved and checked by the building inspector and structural engineer.

**DOORS AND WINDOWS:**  
To be constructed in accordance with Part N of SANS 10400. All services to be approved and checked by the building inspector and structural engineer.

**GLAZING:**  
To be constructed in accordance with Part N of SANS 10400. All services to be approved and checked by the building inspector and structural engineer.

**CEILING AND LIGHTING:**  
To be constructed in accordance with Part N of SANS 10400. All services to be approved and checked by the building inspector and structural engineer.

**WORKMANSHIP:**  
All work to be done in accordance with the specifications. Workmanship to be of highest standard and comply with all SANS and relevant specification standards for all work.

**OCCUPATIONAL HEALTH & SAFETY ACT:**  
All work to be done in accordance with the Occupational Health and Safety Act - the building site to be managed and maintained in accordance with the above.

**ENVIRONMENTAL REQUIREMENTS:**  
To be constructed in accordance with Part N of SANS 10400. All services to be approved and checked by the building inspector and structural engineer.

**STAIRS:**  
To be constructed in accordance with Part N of SANS 10400. All services to be approved and checked by the building inspector and structural engineer.

**GENERAL:**  
All work to be done in accordance with the specifications. Workmanship to be of highest standard and comply with all SANS and relevant specification standards for all work.

**LOCALITY PLAN:**  
To be constructed in accordance with Part N of SANS 10400. All services to be approved and checked by the building inspector and structural engineer.

**CLIENT INFORMATION:**  
To be constructed in accordance with Part N of SANS 10400. All services to be approved and checked by the building inspector and structural engineer.

**DRAWING CHECKS:**  
To be constructed in accordance with Part N of SANS 10400. All services to be approved and checked by the building inspector and structural engineer.

**APPROVAL CONSULTANT:**  
To be constructed in accordance with Part N of SANS 10400. All services to be approved and checked by the building inspector and structural engineer.

**COPYRIGHT VESTED IN:**  
To be constructed in accordance with Part N of SANS 10400. All services to be approved and checked by the building inspector and structural engineer.

**DESIGNSCAPE architects:**  
To be constructed in accordance with Part N of SANS 10400. All services to be approved and checked by the building inspector and structural engineer.

**PROJECT TITLE:**  
To be constructed in accordance with Part N of SANS 10400. All services to be approved and checked by the building inspector and structural engineer.

**DESCRIPTION:**  
To be constructed in accordance with Part N of SANS 10400. All services to be approved and checked by the building inspector and structural engineer.

**ERF NUMBER:**  
To be constructed in accordance with Part N of SANS 10400. All services to be approved and checked by the building inspector and structural engineer.

**LOCATION:**  
To be constructed in accordance with Part N of SANS 10400. All services to be approved and checked by the building inspector and structural engineer.

**DRAWING TITLE:**  
To be constructed in accordance with Part N of SANS 10400. All services to be approved and checked by the building inspector and structural engineer.

**BUILDING FACILITY/ZONE:**  
To be constructed in accordance with Part N of SANS 10400. All services to be approved and checked by the building inspector and structural engineer.

**DISCIPLINE:**  
To be constructed in accordance with Part N of SANS 10400. All services to be approved and checked by the building inspector and structural engineer.

**PROJECT NR./ABREV. DATE:**  
To be constructed in accordance with Part N of SANS 10400. All services to be approved and checked by the building inspector and structural engineer.

**DRAWING NUMBER:**  
To be constructed in accordance with Part N of SANS 10400. All services to be approved and checked by the building inspector and structural engineer.

**SCALE:**  
To be constructed in accordance with Part N of SANS 10400. All services to be approved and checked by the building inspector and structural engineer.

**FOR TENDER**

1 : 35



**GENERAL NOTES**

**FOUNDATIONS:**  
To be constructed in accordance with Part H of SANS 10400, and strictly to structural engineer's detail & specification. All trenches and concrete to approved standards and checked by the building inspector and structural engineer.

**WALLS:**  
Foundation walls to Structural Engineers detail & specification. All cavities to be filled with concrete to surface bed level. All brickwork to be imperial ROKs (110 x 220 x 75).

**MASONRY:**  
To be constructed in accordance with Part K of SANS 10400. 280 mm cavity masonry walls to Structural Eng detail and spec. With rock in wall mesh 100X200.5 Flashed and painted externally and internally. Beamfilling to underside of roof sheets.

**LINTOLS:** Precast R.C. lintols for all openings not exceeding 3000. Lintols to extend min 200mm beyond opening. Min 4 x courses brickwork above with brickforce in each course.

**EXPANSION JOINTS:**  
Expansion joints to be provided between existing and new brickwork. Expansion joints at max 10m of free-standing wall, all in accordance with Structural Eng detail & spec.

**STRUCTURAL TIMBERS:**  
All to be boron treated V4 or better SA pine or gum.

**FLOORS:**  
To be constructed in accordance with part J of SANS 10400  
All R/C slabs to be constructed in accordance with Structural Engineer's details.

**ROOF:**  
To be constructed in accordance with Part L of SANS 10400 as well as SABS 062

**DOORS AND WINDOWS:**  
To be constructed in accordance with SANS 10400.

**GLAZING:**  
4mm clear glazing to all doors & windows, unless specified otherwise. All glazed elements exceeding 1m<sup>2</sup> or that is less than 1m above FFL, to be 6.4mm laminated safety glass in accordance with Part N of SANS 10400.

**DRAINAGE & STORMWATER:**  
To be constructed in accordance with Part P of SANS 10400. All drainage passing under any portion of the building to be encased in min 100mm concrete. All waste pipes to be min 40mm $\phi$ .

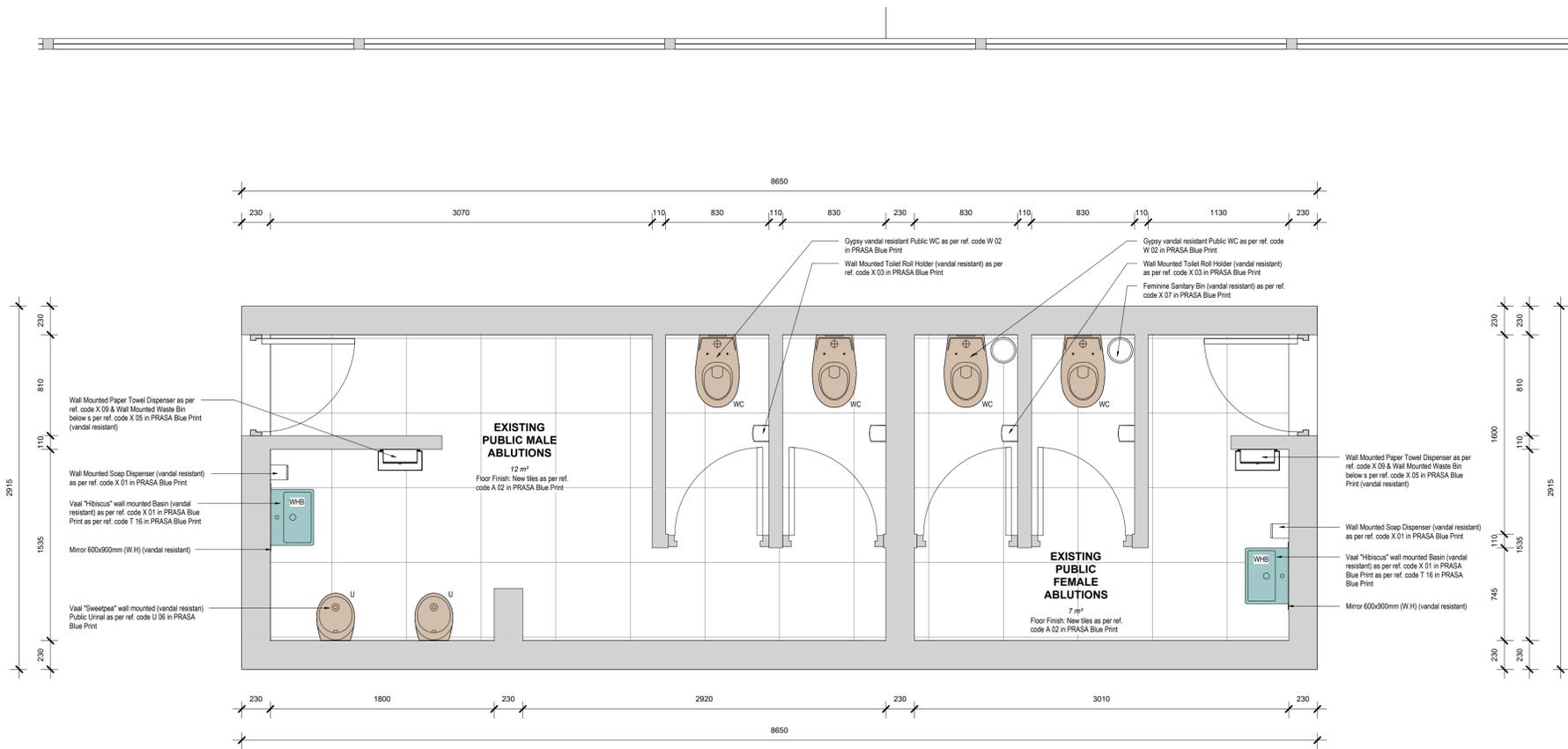
**CEILINGS AND HEADROOM:**  
All ceilings to conform with part CC3.2 table 2 of SANS 10400 min. 2100mm head room at all sanitary fittings.

**WORKMANSHIP:**  
All work to local authority building regulations. Workmanship to be of highest standard and comply with all SABS and relevant specified standards for fixing/finishing.

**OCCUPATIONAL HEALTH & SAFETY ACT:**  
All works to comply with the Occupational Health and Safety Act - the building site to be managed and maintained in accordance with the above.

**ENVIRONMENTAL REQUIREMENTS:**  
Penetration area is less than 15% of Net floor area per storey in accordance with SANS XA 4.4.4  
Roof lighting area is between 1.5% & 10% of Area of served space in accordance with SANS 294:2011

**STAIRS:**  
Treads will not be less than 250mm and any riser will not exceed 200mm in height. Provided that each step of the stairway shall be such that the sum of the tread and twice the riser is not less than 670mm and not more than 650mm.



**CLIENT**



**PROJECT MANAGERS**



No.	Date	Description
B	2023.02.17	Issued for Approval
A	2022.11.30	Stage 3 Design Sign Off

**CLIENT INFORMATION**

SIGNATURE: .....

**DRAWING CHECKS**

DESIGNED BY: T GUMEDE  
 DRAWN BY: D MILLS  
 DESIGN CHECKED BY: T GUMEDE  
 DRAWING CHECKED BY: T GUMEDE

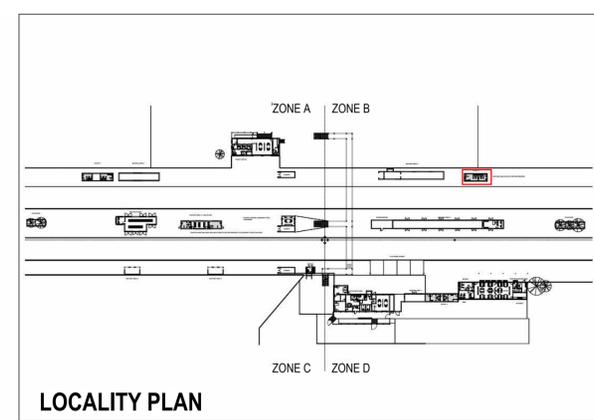
**APPROVAL CONSULTANT**

NAME: T GUMEDE PROF REG. No.: 24671652  
 REGISTERED: PArch SIGNATURE: .....

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**DESIGNSCAPE** architects

109 Waterkant St, De Waterkant, Cape Town, 8001



**PROJECT TITLE:** PAROW STATION

**DESCRIPTION:** REFURBISHMENT OF PAROW STATION

**ERF NUMBER:** 9018, 9026, 9017, 18752

**LOCATION:** Parow, Cape Town, 7500

**DRAWING TITLE:** TOILET 2

BUILDING/FACILITY/ZONE	DISCIPLINE
PRW10	B

**PROJECT NR. / ABBREV.:** PRW10      **DATE:** 2023/02/17 13:03:34

**DRAWING NUMBER**

PROJECT	ORIG.	ZONE	LEVEL	TYPE	ROLE	SERIAL	NO.	STAT.	REV.
PRW10									

**SCALE:** 1 : 25

**FOR TENDER**

2023/02/17 13:03:34

**GENERAL NOTES**

**FOUNDATIONS:**  
To be constructed in accordance with Part H of SANS 10400, and strictly to structural engineer's detail & specification. All trenches and concrete to approved standards and checked by the building inspector and structural engineer.

**WALLS:**  
Foundation walls to Structural Engineers detail & specification. All cavities to be filled with concrete to surface bed level. All brickwork to be imperial ROKs (110 x 220 x 75).

**MASONRY:**  
To be constructed in accordance with Part K of SANS 10400. 280 mm cavity masonry walls to Structural Eng detail and spec. With rock in wall mesh 100SDX02.5 Flashed and painted externally and internally. Beamfilling to underside of roof sheets.

**LINTOLS:** Precast R.C. lintols for all openings not exceeding 3000. Lintols to extend min 200mm beyond opening. Min 4 x courses brickwork above with brickforce in each course.

**EXPANSION JOINTS:**  
Expansion joints to be provided between existing and new brickwork. Expansion joints at max 10m of free-standing wall, in accordance with Structural Eng detail & spec.

**STRUCTURAL TIMBERS:**  
All to be boron treated V4 or better SA pine or gum.

**FLOORS:**  
To be constructed in accordance with part J of SANS 10400  
All R/C slabs to be constructed in accordance with Structural Engineer's details.

**ROOF:**  
To be constructed in accordance with Part L of SANS 10400 as well as SABS 062

**DOORS AND WINDOWS:**  
To be constructed in accordance with SANS 10400.

**GLAZING:**  
4mm clear glazing to all doors & windows, unless specified otherwise. All glazed elements exceeding 1m<sup>2</sup>, or that is less than 1m above FFL, to be 6.4mm laminated safety glass in accordance with Part N of SANS 10400.

**DRAINAGE & STORMWATER:**  
To be constructed in accordance with Part P of SANS 10400. All drainage passing under any portion of the building to be encased in min 100mm concrete. All waste pipes to be min 40mm $\phi$ .

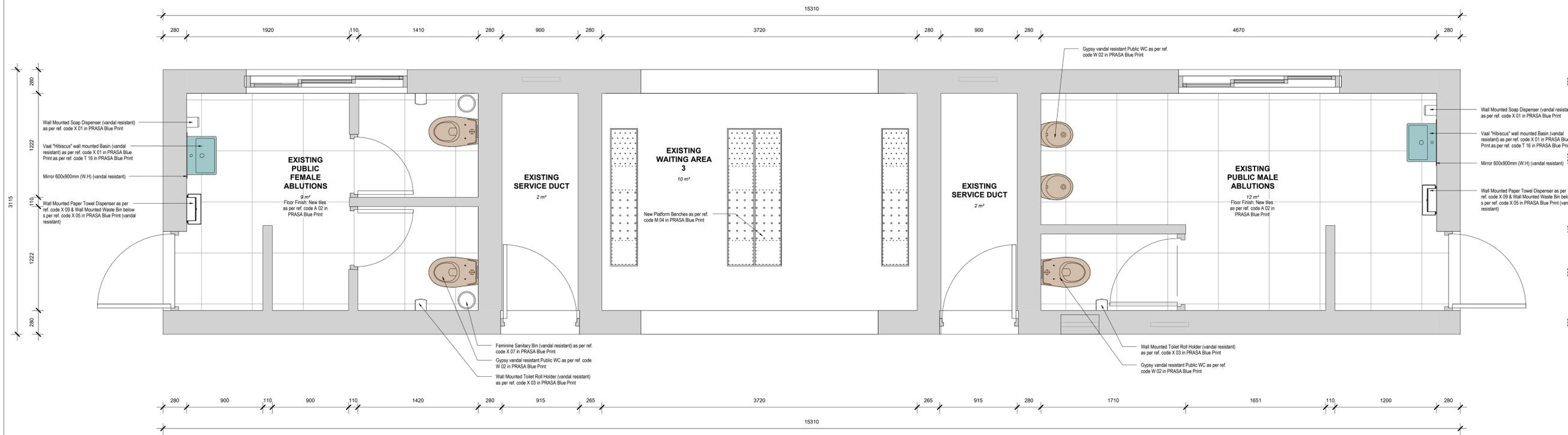
**CEILING AND HEADROOM:**  
All ceilings to conform with part CC3.2 table 2 of SANS 10400 min. 2100mm head room at all sanitary fittings.

**WORKMANSHIP:**  
All work to local authority building regulations. Workmanship to be of highest standard and comply with all SABS and relevant specified standards for fixing/finishing.

**OCCUPATIONAL HEALTH & SAFETY ACT:**  
All work to comply with the Occupational Health and Safety Act - the building site to be managed and maintained in accordance with the above.

**ENVIRONMENTAL REQUIREMENTS:**  
Penetration area is less than 15% of Net floor area per storey in accordance with SANS XA 4.4.4  
Roof lighting area is between 1.5% & 10% of Area of served space in accordance with SANS 204-2011

**STAIRS:**  
Treads will not be less than 250mm and any riser will not exceed 200mm in height. Provided that each step of the stairway shall be such that the sum of the tread and twice the riser is not less than 670mm and not more than 650mm.

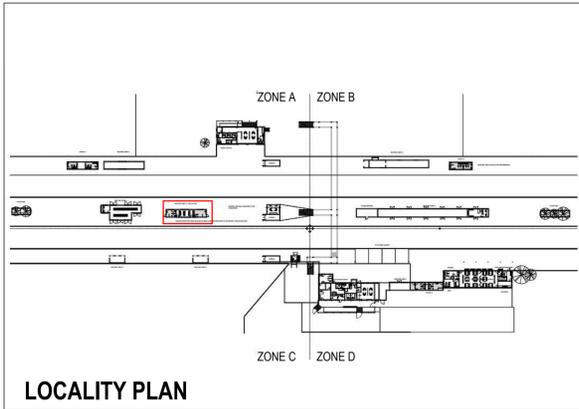


<b>CLIENT</b>											
 PASSENGER RAIL AGENCY OF SOUTH AFRICA											
<b>PROJECT MANAGERS</b>											
 CONSULTING ENGINEERS											
<table border="1"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td>B</td> <td>2023 02 17</td> <td>Issued for Approval</td> </tr> <tr> <td>A</td> <td>2022 11 30</td> <td>Stage 3 Design Sign Off</td> </tr> </tbody> </table>			No.	Date	Description	B	2023 02 17	Issued for Approval	A	2022 11 30	Stage 3 Design Sign Off
No.	Date	Description									
B	2023 02 17	Issued for Approval									
A	2022 11 30	Stage 3 Design Sign Off									
<b>CLIENT INFORMATION</b>											
SIGNATURE: .....											
SIGNATURE: .....											
<b>DRAWING CHECKS</b>											
DESIGNED BY:	T GUMEDE	.....									
DRAWN BY:	D MILLS	.....									
DESIGN CHECKED BY:	T GUMEDE	.....									
DRAWING CHECKED BY:	T GUMEDE	.....									
<b>APPROVAL CONSULTANT</b>											
NAME:	T GUMEDE	PROF REG. No.: 24671652									
REGISTERED:	PArch	SIGNATURE: .....									

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109 Waterkant St, De Waterkant, Cape Town, 8001

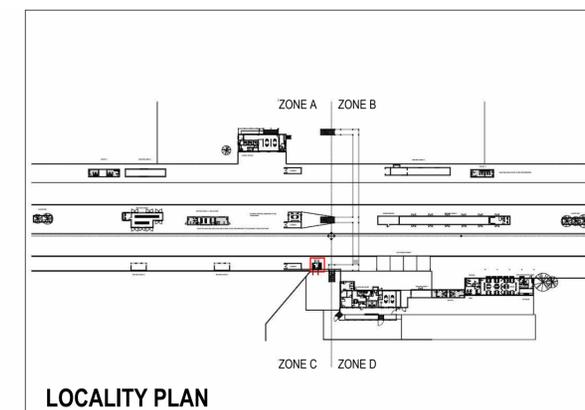
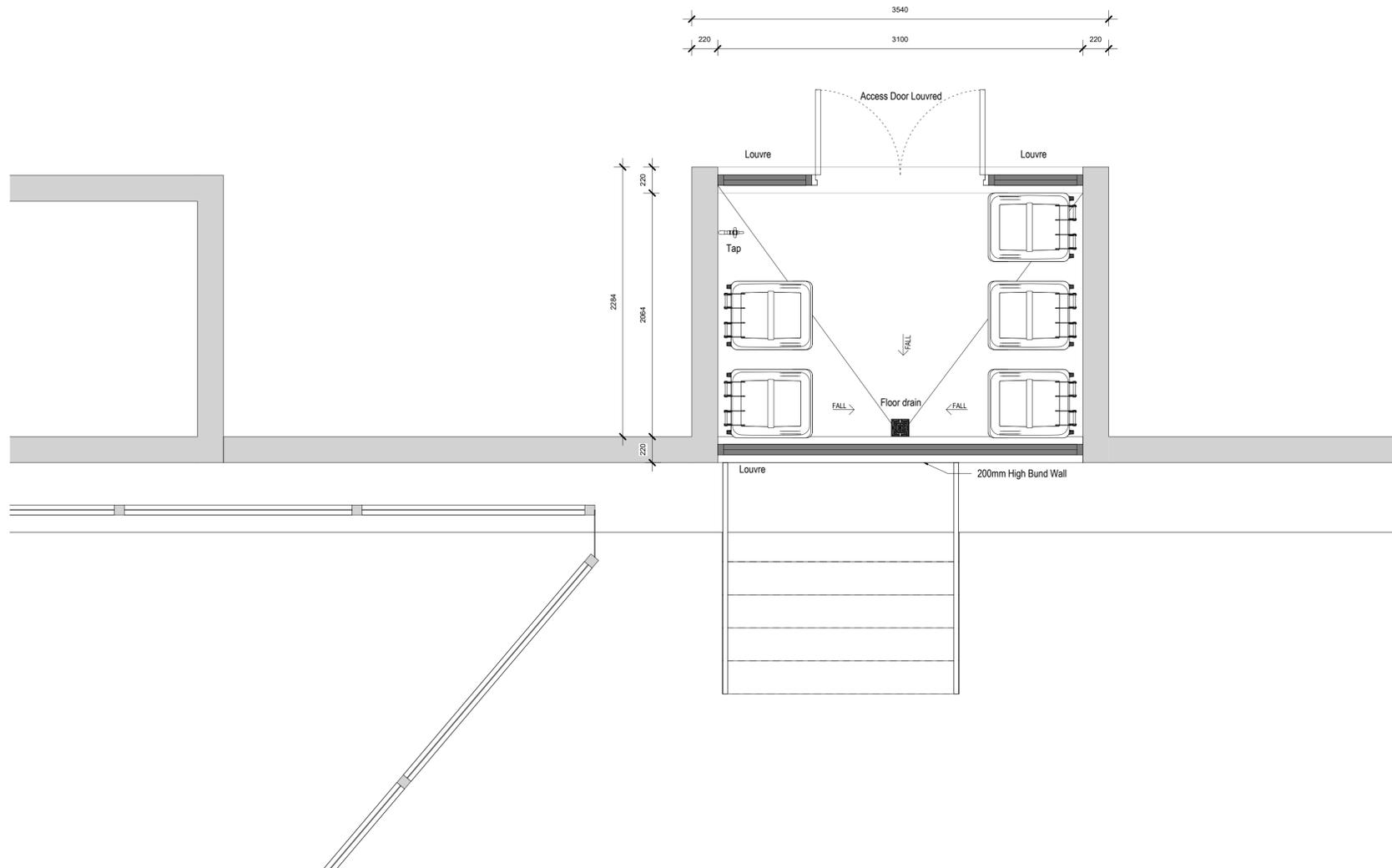


LOCALITY PLAN

<b>PROJECT TITLE:</b> PAROW STATION								
<b>DESCRIPTION:</b> REFURBISHMENT OF PAROW STATION								
<b>ERF NUMBER:</b> 9018, 9026, 9017, 18752								
<b>LOCATION:</b> Parow, Cape Town, 7500								
<b>DRAWING TITLE</b>								
<b>WAITING AREA 3 / ABLUTIONS</b>								
<b>BUILDING/FACILITY/ZONE</b>	<b>DISCIPLINE</b>							
PROJECT NR. / ABREV.	DATE							
PRW10	2023/02/17 13:03:36							
<b>DRAWING NUMBER</b>								
PROJECT	ORIG.	ZONE	LEVEL	TYPE	ROLE	SERIAL NO.	STAT.	REV.
PRW10						032010	B	
<b>SCALE</b>		<b>1 : 25</b>						

**FOR TENDER**

2023/02/17 13:03:36



LOCALITY PLAN

**FOR TENDER**

**GENERAL NOTES**

**FOUNDATIONS:**  
To be constructed in accordance with Part H of SANS 10400, and strictly to structural engineer's detail & specification. All trenches and concrete to approved standards and checked by the building inspector and structural engineer.

**WALLS:**  
Foundation walling to Structural Engineers detail & specification. All cavities to be filled with concrete to surface bed level. All brickwork to be imperial ROKs (110 x 220 x 75).

**MASONRY:**  
To be constructed in accordance with Part K of SANS 10400. 280 mm cavity masonry walls to Structural Eng detail and spec. With rock in wall mesh 100X20X2.5 Flashed and painted externally and internally. Beamfilling to underside of roof sheets.

**LINTOLS:** Precast R.C. lintols for all openings not exceeding 3000. Lintols to extend min 230mm beyond opening. Min 4 x courses brickwork above with brickforce in each course.

**EXPANSION JOINTS:**  
Expansion joints to be provided between existing and new brickwork. Expansion joints at max 10m of free-standing wall, all in accordance with Structural Eng detail & spec.

**STRUCTURAL TIMBERS:**  
All to be boron treated V4 or better SA pine or gum.

**FLOORS:**  
To be constructed in accordance with part J of SANS 10400  
All R/C slabs to be constructed in accordance with Structural Engineer's details.

**ROOF:**  
To be constructed in accordance with Part L of SANS 10400 as well as SABS 062

**DOORS AND WINDOWS:**  
To be constructed in accordance with SANS 10400.

**GLAZING:**  
4mm clear glazing to all doors & windows, unless specified otherwise. All glazed elements exceeding 1m<sup>2</sup> or that is less than 1m above FL, to be 6.4mm laminated safety glass in accordance with Part N of SANS 10400.

**DRAINAGE & STORMWATER:**  
To be constructed in accordance with Part P of SANS 10400. All drainage passing under any portion of the building to be encased in min 100mm concrete. All waste pipes to be min 40mm $\phi$ .

**CEILINGS AND HEADROOM:**  
All ceilings to conform with part CC3.2 table 2 of SANS 10400 min. 2100mm head room at all sanitary fittings.

**WORKMANSHIP:**  
All work to local authority building regulations. Workmanship to be of highest standard and comply with all SABS and relevant specified standards for fixing/finishing.

**OCCUPATIONAL HEALTH & SAFETY ACT:**  
All work to comply with the Occupational Health and Safety Act - the building site to be managed and maintained in accordance with the above.

**ENVIRONMENTAL REQUIREMENTS:**  
Penetration area is less than 15% of Net floor area per storey in accordance with SANS XA 4.4.4  
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**STAIRS:**  
Treads will not be less than 250mm and any riser will not exceed 200mm in height. Provided that each step of the stairway shall be such that the sum of the tread and twice the riser is not less than 670mm and not more than 650mm.

**CLIENT**



**PROJECT MANAGERS**



C	2023-02-17	Issued for Approval
B	2023-02-06	Issued for Preliminary Approval
A	2022-11-30	Stage 3 Design Sign Off

No.	Date	Description
<b>CLIENT INFORMATION</b>		
SIGNATURE: .....		
<b>DRAWING CHECKS</b>		
DESIGNED BY:	T GUMEDE	
DRAWN BY:	D MILLS	
DESIGN CHECKED BY:	T GUMEDE	
DRAWING CHECKED BY:	T GUMEDE	
<b>APPROVAL CONSULTANT</b>		
NAME:	T GUMEDE	PROF REG. No.: 24671652
REGISTERED:	PlArch	SIGNATURE: .....

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109 Waterkant St, De Waterkant, Cape Town, 8001

<b>PROJECT TITLE:</b>	PAROW STATION
<b>DESCRIPTION:</b>	REFURBISHMENT OF PAROW STATION
<b>ERF NUMBER:</b>	9018, 9026, 9017, 18752
<b>LOCATION:</b>	Parow, Cape Town, 7500
<b>DRAWING TITLE</b>	
<b>REFUSE AREA</b>	
<b>BUILDING/FACILITY/ZONE</b>	<b>DISCIPLINE</b>
PRW10	C
<b>PROJECT NR. / ABBREV.</b>	<b>DATE</b>
PRW10	2023/02/17 13:03:38

DRAWING NUMBER						
PROJECT	ORIG.	ZONE	LEVEL	TYPE	ROLE	SERIAL NO.
PRW10						032011
						<b>SCALE</b>
						<b>1 : 25</b>

**GENERAL NOTES**

**FOUNDATIONS:**  
To be constructed in accordance with Part H of SANS 10400, and strictly to structural engineer's detail & specification. All trenches and concrete to approved standards and checked by the building inspector and structural engineer.

**WALLS:**  
Foundation walling to Structural Engineers detail & specification. All cavities to be filled with concrete to surface bed level. All brickwork to be imperial RDBs (110 x 220 x 75).

**MASONRY:**  
To be constructed in accordance with Part K of SANS 10400. 280 mm cavity masonry walls to Structural Eng detail and spec. With rock in wall mesh 100X200.5 Flashed and painted externally and internally. Beams/filling to underside of roof sheets.

**LINTOLS:** Precast R.C. lintols for all openings not exceeding 3000. Lintols to extend min 250mm beyond opening. Min 4 x courses brickwork above with bricforce in each course.

**EXPANSION JOINTS:**  
Expansion joints to be provided between existing and new brickwork. Expansion joints at max 10m of free-standing wall, all in accordance with Structural Eng detail & spec.

**STRUCTURAL TIMBERS:**  
All to be boron treated V4 or better SA pine or gum.

**FLOORS:**  
To be constructed in accordance with part J of SANS 10400  
All R/C slabs to be constructed in accordance with Structural Engineer's details.

**ROOF:**  
To be constructed in accordance with Part L of SANS 10400 as well as SABS 062

**DOORS AND WINDOWS:**  
To be constructed in accordance with SANS 10400.

**GLAZING:**  
4mm clear glazing to all doors & windows, unless specified otherwise. All glazed elements exceeding 1m<sup>2</sup> or that is less than 1m above FFL, to be 6.4mm laminated safety glass in accordance with Part N of SANS 10400.

**DRAINAGE & STORMWATER:**  
To be constructed in accordance with Part P of SANS 10400. All drainage passing under any portion of the building to be encased in min 100mm concrete. All waste pipes to be min 40mm<sup>3</sup>.

**CEILINGS AND HEADROOM:**  
All ceilings to conform with part CC3.2 table 2 of SANS 10400 min. 2100mm head room at all sanitary fittings.

**WORKMANSHIP:**  
All work to local authority building regulations. Workmanship to be of highest standard and comply with all SABS and relevant specified standards for fixing/finishing.

**OCCUPATIONAL HEALTH & SAFETY ACT:**  
All works to comply with the Occupational Health and Safety Act - the building site to be managed and maintained in accordance with the above.

**ENVIRONMENTAL REQUIREMENTS:**  
Fenestration area is less than 15% of Net floor area per storey in accordance with SANS XA 4.4.4  
Roof lighting area is between 1.5% & 10% of Area of served space in accordance with SANS 244-2:2011

**STAIRS:**  
Treads will not be less than 250mm and any riser will not exceed 200mm in height. Provided that each step of the stairway shall be such that the sum of the tread and twice the riser is not less than 670mm and not more than 650mm.

**CLIENT**



**PROJECT MANAGERS**



No.	Date	Description
B	2023.02.17	Issued for Approval
A	2022.11.30	Stage 3 Design Sign Off

**CLIENT INFORMATION**

SIGNATURE: .....

**DRAWING CHECKS**

DESIGNED BY: T GUMEDE  
 DRAWN BY: D MILLS  
 DESIGN CHECKED BY: T GUMEDE  
 DRAWING CHECKED BY: T GUMEDE

**APPROVAL CONSULTANT**

NAME: T GUMEDE PROF REG. No.: 24671652  
 REGISTERED: P/Arch SIGNATURE: .....

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109 Waterkant St, De Waterkant, Cape Town, 8001

**PROJECT TITLE: PAROW STATION**

DESCRIPTION: REFURBISHMENT OF PAROW STATION

ERF NUMBER: 9018, 9026, 9017, 18752

LOCATION: Parow, Cape Town, 7500

**DRAWING TITLE PLATFORM CANOPY**

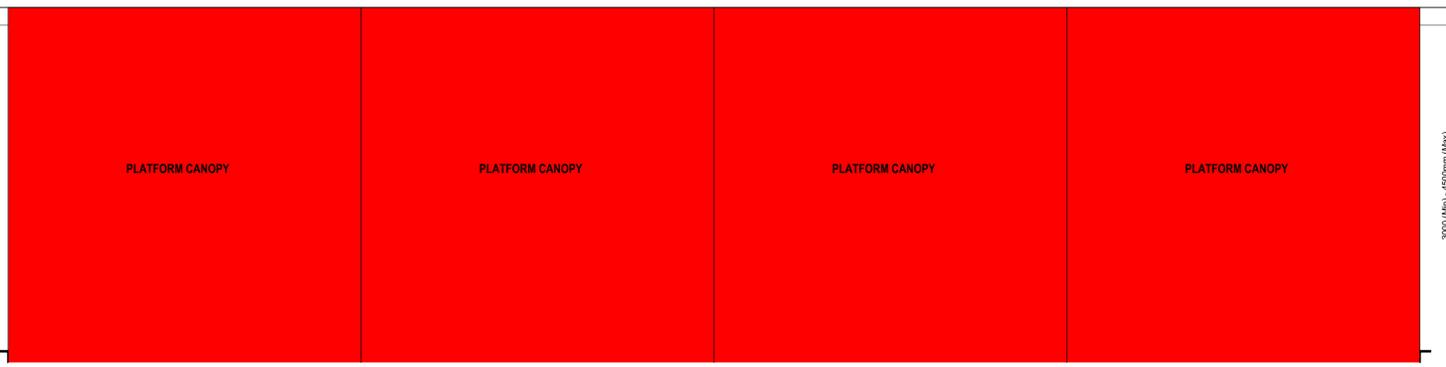
**BUILDING/FACILITY/ZONE DISCIPLINE**

PROJECT NR. / ABBREV. DATE  
 PRW10 2023/02/17 13:03:41

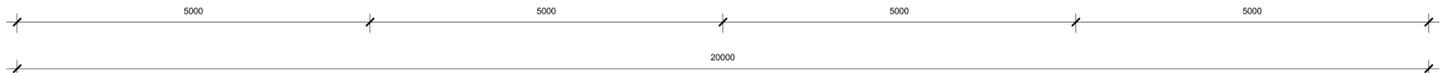
**DRAWING NUMBER**

PROJECT	ORIG.	ZONE	LEVEL	TYPE	ROLE	SERIAL NO.	STAT.	REV.
PRW10						032012	B	

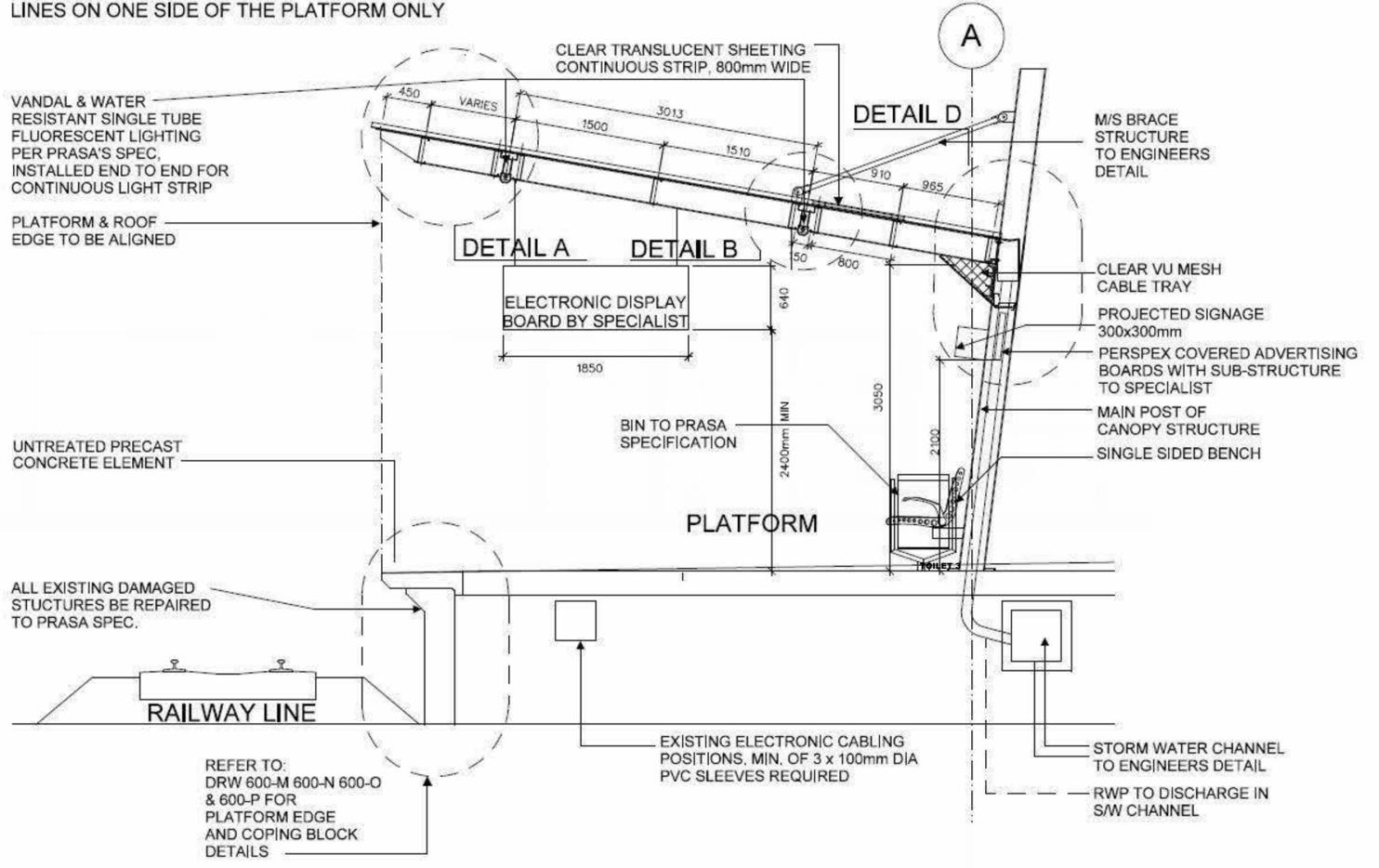
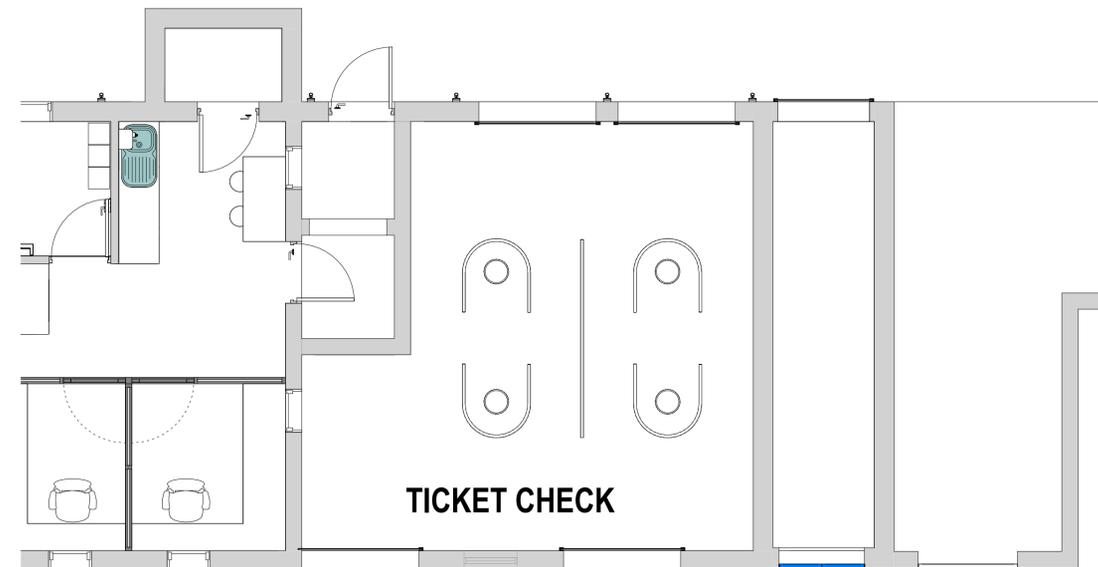
SCALE 1 : 50



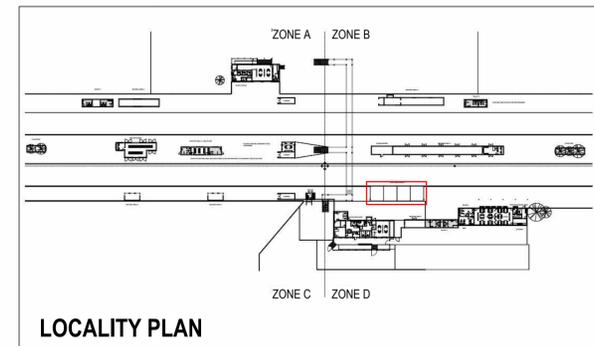
CANOPY TO MATCH BLUEPRINT DOCUMENT DRAWING NO 600-G (SECTION 4) AND ACCOMPANYING DOCUMENTATION



NOTE : THIS DETAIL TO BE USED WHERE THERE ARE RAILWAY LINES ON ONE SIDE OF THE PLATFORM ONLY



**TYPICAL SECTION - ALTERNATIVE PLATFORM AND CANOPY**



LOCALITY PLAN

**FOR TENDER**

2023/02/17 13:03:41

**GENERAL NOTES**

**FOUNDATIONS:**  
To be constructed in accordance with Part H of SANS 10400, and strictly to structural engineer's detail & specification. All trenches and concrete to approved standards and checked by the building inspector and structural engineer.

**WALLS:**  
Foundation walling to Structural Engineers detail & specification. All cavities to be filled with concrete to surface bed level. All brickwork to be imperial ROKs (110 x 220 x 75).

**MASONRY:**  
To be constructed in accordance with Part K of SANS 10400. 280 mm cavity masonry walls to Structural Eng detail and spec. With rock in wall mesh 100X200.5 Flashed and painted externally and internally. Beamfilling to underside of roof sheets.

**LINTOLS:** Precast R.C. lintols for all openings not exceeding 3000. Lintols to extend min 230mm beyond opening. Min 4 x courses brickwork above with brickforce in each course.

**EXPANSION JOINTS:**  
Expansion joints to be provided between existing and new brickwork. Expansion joints at max 10m of free-standing wall, all in accordance with Structural Eng detail & spec.

**STRUCTURAL TIMBERS:**  
All to be boron treated V4 or better SA pine or gum.

**FLOORS:**  
To be constructed in accordance with part J of SANS 10400  
All R/C slabs to be constructed in accordance with Structural Engineer's details.

**ROOF:**  
To be constructed in accordance with Part L of SANS 10400 as well as SABS 062

**DOORS AND WINDOWS:**  
To be constructed in accordance with SANS 10400.

**GLAZING:**  
4mm clear glazing to all doors & windows, unless specified otherwise. All glazed elements exceeding 1m<sup>2</sup> or that is less than 1m above FFL, to be 6.4mm laminated safety glass in accordance with Part N of SANS 10400.

**DRAINAGE & STORMWATER:**  
To be constructed in accordance with Part P of SANS 10400. All drainage passing under any portion of the building to be encased in min 100mm concrete. All waste pipes to be min 40mm $\phi$ .

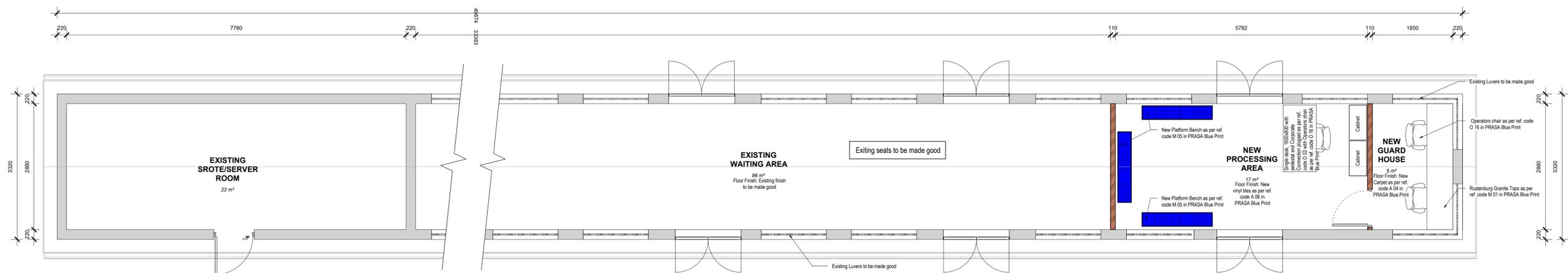
**CEILINGS AND HEADROOM:**  
All ceilings to conform with part CC3.2 table 2 of SANS 10400 min. 2100mm head room at all sanitary fittings.

**WORKMANSHIP:**  
All work to local authority building regulations. Workmanship to be of highest standard and comply with all SABS and relevant specified standards for fixing finishing.

**OCCUPATIONAL HEALTH & SAFETY ACT:**  
All works to comply with the Occupational Health and Safety Act - the building site to be managed and maintained in accordance with the above.

**ENVIRONMENTAL REQUIREMENTS:**  
Ventilation area is less than 15% of Net floor area per storey in accordance with SANS XA 4.4.4  
Roof lighting area is between 1.5% & 10% of Area of served space in accordance with SANS 244-2011

**STAIRS:**  
Treads will not be less than 250mm and any riser will not exceed 200mm in height. Provided that each step of the stairway shall be such that the sum of the tread and twice the riser is not less than 670mm and not more than 650mm.



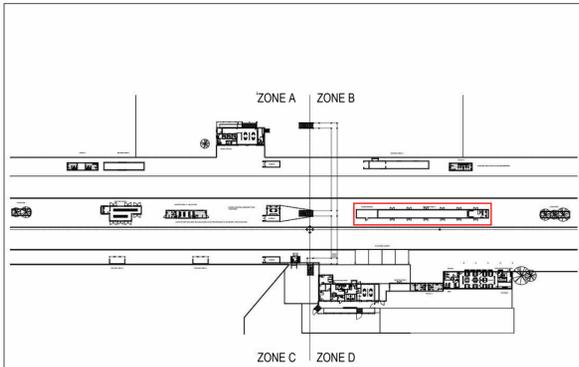
No.	Date	Description
B	2023 02 17	Issued for Approval
A	2023 02 06	Issued for Preliminary Approval

CLIENT INFORMATION	
SIGNATURE:	.....
SIGNATURE:	.....
DRAWING CHECKS	
DESIGNED BY:	T GUMEDE
DRAWN BY:	D MILLS
DESIGN CHECKED BY:	T GUMEDE
DRAWING CHECKED BY:	T GUMEDE
APPROVAL CONSULTANT	
NAME:	T GUMEDE
REGISTERED:	PrArch
PROF REG. No.:	24671652
SIGNATURE:	.....

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109 Waterkant St, De Waterkant, Cape Town, 8001



LOCALITY PLAN

<b>PROJECT TITLE:</b>	PAROW STATION
<b>DESCRIPTION:</b>	REFURBISHMENT OF PAROW STATION
<b>ERF NUMBER:</b>	9018, 9026, 9017, 18752
<b>LOCATION:</b>	Parow, Cape Town, 7500
<b>DRAWING TITLE</b>	<b>WAITING AREA 6 / PROCESSING AREA</b>
<b>BUILDING/FACILITY/ZONE</b>	<b>DISCIPLINE</b>
<b>PROJECT NR. / ABBREV.</b>	<b>DATE</b>
PRW10	2023/02/17 13:03:43

DRAWING NUMBER							
PROJECT	ORIG.	ZONE	LEVEL	TYPE	ROLE	SERIAL NO.	STAT. REV.
PRW10						032013	B

SCALE 1 : 50

**A GROUND STOREY PLAN - ZONE B - WAITING AREA 6**  
SCALE - 1 : 50

**FOR TENDER**

2023/02/17 13:03:43

**GENERAL NOTES**

**FOUNDATIONS:**  
To be constructed in accordance with Part H of SANS 10400, and strictly to structural engineer's detail & specification. All trenches and concrete to approved standards and checked by the building inspector and structural engineer.

**WALLS:**  
Foundation walls to Structural Engineers detail & specification. All cavities to be filled with concrete to surface bed level. All brickwork to be imperial RDBs (110 x 220 x 75).

**MASONRY:**  
To be constructed in accordance with Part K of SANS 10400. 280 mm cavity masonry walls to Structural Eng detail and spec. With rock in wall mesh 100SDX0.5 Flashed and painted externally and internally. Beams to underside of roof sheets.

**LINTOLS:** Precast R.C. lintols for all openings not exceeding 3000. Lintols to extend min 250mm beyond opening. Min 4 x courses brickwork above with brickforce in each course.

**EXPANSION JOINTS:**  
Expansion joints to be provided between existing and new brickwork. Expansion joints at max 10m of free-standing wall, all in accordance with Structural Eng detail & spec.

**STRUCTURAL TIMBERS:**  
All to be boron treated V4 or better SA pine or gum.

**FLOORS:**  
To be constructed in accordance with part J of SANS 10400. All R/C slabs to be constructed in accordance with Structural Engineer's details.

**ROOF:**  
To be constructed in accordance with Part L of SANS 10400 as well as SABS 062.

**DOORS AND WINDOWS:**  
To be constructed in accordance with SANS 10400.

**GLAZING:**  
4mm clear glazing to all doors & windows, unless specified otherwise. All glazed elements exceeding 1m<sup>2</sup> or that is less than 1m above FFL, to be 6.4mm laminated safety glass in accordance with Part N of SANS 10400.

**DRAINAGE & STORMWATER:**  
To be constructed in accordance with Part P of SANS 10400. All drainage passing under any portion of the building to be encased in min 100mm concrete. All waste pipes to be min 40mm $\phi$ .

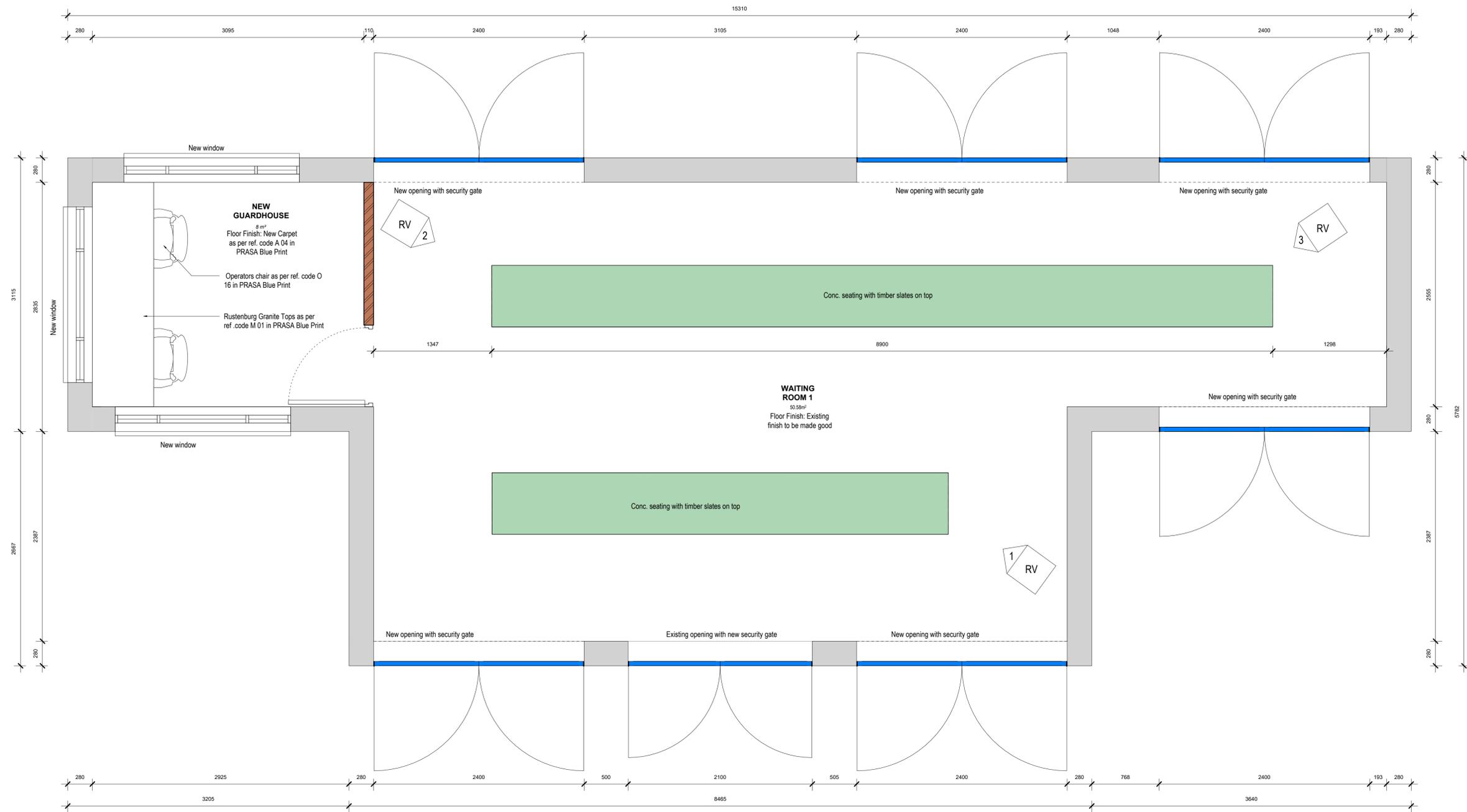
**CEILING AND HEADROOM:**  
All ceilings to conform with part CC3.2 table 2 of SANS 10400 min. 2100mm head room at all sanitary fittings.

**WORKMANSHIP:**  
All work to local authority building regulations. Workmanship to be of highest standard and comply with all SABS and relevant specified standards for fixing/finishing.

**OCCUPATIONAL HEALTH & SAFETY ACT:**  
All works to comply with the Occupational Health and Safety Act - the building site to be managed and maintained in accordance with the above.

**ENVIRONMENTAL REQUIREMENTS:**  
Ventilation area is less than 15% of Net floor area per storey in accordance with SANS XA 4.4.4. Roof lighting area is between 1.5% & 10% of Area of served space in accordance with SANS 24-2011.

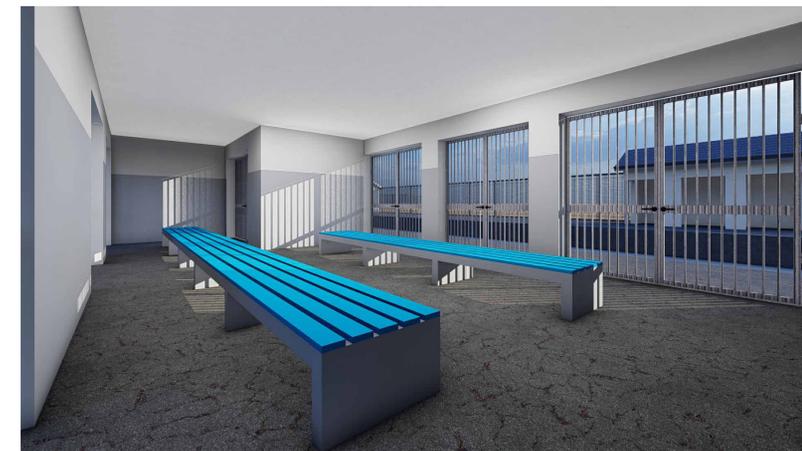
**STAIRS:**  
Treads will not be less than 250mm and any riser will not exceed 200mm in height. Provided that each step of the stairway shall be such that the sum of the tread and twice the riser is not less than 670mm and not more than 650mm.



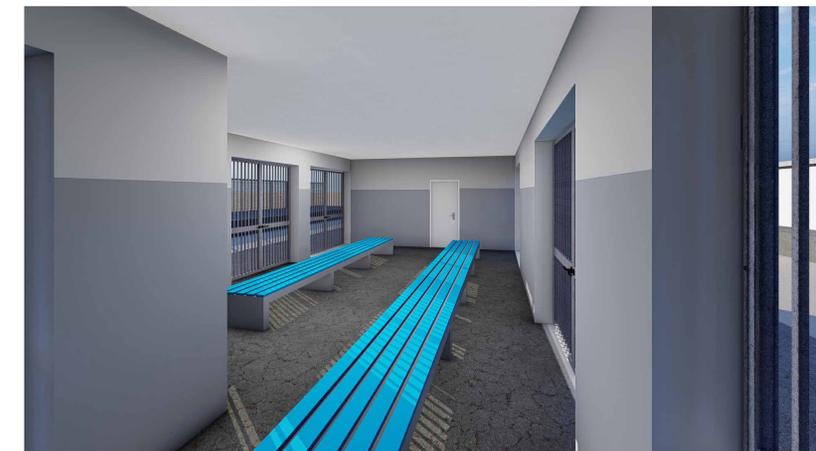
**A GROUND STOREY PLAN - ZONE A - WAITING ROOM 1**  
SCALE - 1 : 25



**WAITING ROOM 1 RENDERED VEIW 1**



**WAITING ROOM 1 RENDERED VEIW 2**



**WAITING ROOM 1 RENDERED VEIW 3**



No.	Date	Description
B	2023 02 17	Issued for Approval
A	2023 02 06	Issued for Preliminary Approval

CLIENT INFORMATION	
SIGNATURE:	.....
SIGNATURE:	.....

DRAWING CHECKS	
DESIGNED BY:	T GUMEDE
DRAWN BY:	D MILLS
DESIGN CHECKED BY:	T GUMEDE
DRAWING CHECKED BY:	T GUMEDE

APPROVAL CONSULTANT	
NAME:	T GUMEDE
REGISTERED:	Prof REG. No.: 24671652
REGISTERED:	PArch SIGNATURE: .....

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109 Waterkant St, De Waterkant, Cape Town, 8001

<b>PROJECT TITLE:</b>	PAROW STATION
<b>DESCRIPTION:</b>	REFURBISHMENT OF PAROW STATION
<b>ERF NUMBER:</b>	9018, 9026, 9017, 18752
<b>LOCATION:</b>	Parow, Cape Town, 7500
<b>DRAWING TITLE</b>	
<b>WAITING ROOM 1</b>	
<b>BUILDING/FACILITY/ZONE</b>	<b>DISCIPLINE</b>
PRW10	B
<b>PROJECT NR. / ABBREV.</b>	<b>DATE</b>
PRW10	2023/02/17 13:03:44

DRAWING NUMBER					
PROJECT	ORIG.	ZONE	LEVEL	TYPE	ROLE
PRW10					B

**FOR TENDER**

SCALE 1 : 25



**Location Information**

Lat: -33.907603 | Lon: 18.601827

**SG Erf Info**

Select | Focus | Add Graphic Feature

Erf Nr: 12456

Area (SQM): 27451.9

SG Code: C01600420001245600000

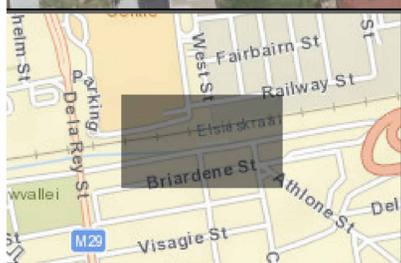
SG Region: CAPE

Township: PAROW

Legal Status: Registered

Working Status: Current

SG Diagrams: [Click to download](#)



Date: 20190115, GSD: 0.08m | City of Cape Town | Esri South Africa, Esri, HERE, Garmin

**GENERAL NOTES**

**FOUNDATIONS:**  
To be constructed in accordance with Part H of SANS 10400, and strictly to structural engineer's detail & specification. All trenches and concrete to approved standards and checked by the building inspector and structural engineer.

**WALLS:**  
Foundation walling to Structural Engineers detail & specification. All cavities to be filled with concrete to surface bed level. All brickwork to be imperial RDBs (110 x 220 x 75).

**MASONRY:**  
To be constructed in accordance with Part K of SANS 10400. 280 mm cavity masonry walls to Structural Eng detail and spec. With rock in wall mesh 100SD02.5 Flashed and painted externally and internally. Beamfilling to underside of roof sheets.

**LINTOLS:** Precast R.C. lintols for all openings not exceeding 3000. Lintols to extend min 250mm beyond opening. Min 4 x courses brickwork above with brickforce in each course.

**EXPANSION JOINTS:**  
Expansion joints to be provided between existing and new brickwork. Expansion joints at max 10m of free-standing wall, all in accordance with Structural Eng detail & spec.

**STRUCTURAL TIMBERS:**  
All to be boron treated V4 or better SA pine or gum.

**FLOORS:**  
To be constructed in accordance with part J of SANS 10400  
All R/C slabs to be constructed in accordance with Structural Engineer's details.

**ROOF:**  
To be constructed in accordance with Part L of SANS 10400 as well as SABS 062

**DOORS AND WINDOWS:**  
To be constructed in accordance with SANS 10400.

**GLAZING:**  
4mm clear glazing to all doors & windows, unless specified otherwise. All glazed elements exceeding 1m<sup>2</sup> or that is less than 1m above FFL, to be 6.4mm laminated safety glass in accordance with Part N of SANS 10400.

**DRAINAGE & STORMWATER:**  
To be constructed in accordance with Part P of SANS 10400. All drainage passing under any portion of the building to be encased in min 100mm concrete. All waste pipes To be min 40mm<sup>3</sup>.

**CEILINGS AND HEADROOM:**  
All ceilings to conform with part CC3.2 table 2 of SANS 10400 min. 2100mm head room at all sanitary fittings.

**WORKMANSHIP:**  
All work to local authority building regulations. Workmanship to be of highest standard and comply with all SABS and relevant specified standards for fixing/finishing.

**OCCUPATIONAL HEALTH & SAFETY ACT:**  
All works to comply with the Occupational Health and Safety Act - the building site to be managed and maintained in accordance with the above.

**ENVIRONMENTAL REQUIREMENTS:**  
Forestation area is less than 15% of Net Floor area per storey in accordance with SANS 24:4.4.4  
Roof lighting area is between 1.5% & 10% of Area of served space in accordance with SANS 24:2011

**STAIRS:**  
Treads will not be less than 250mm and any riser will not exceed 200mm in height. Provided that each step of the stairway shall be such that the sum of the tread and twice the riser is not less than 670mm and not more than 650mm.

**CLIENT**



**PROJECT MANAGERS**



**CLIENT INFORMATION**

No.	Date	Description
		SIGNATURE: .....
		SIGNATURE: .....

**COPYRIGHT VESTED IN DESIGN SCAPE ARCHITECTS**



109 Waterkant St, De Waterkant, Cape Town, 8001

**PROJECT TITLE: PAROW STATION**

**DESCRIPTION:** REFURBISHMENT OF PAROW STATION

**ERF NUMBER:** 9018, 9026, 9017, 18752

**LOCATION:** Parow, Cape Town, 7500

**DRAWING TITLE**  
**SITE DEVELOPMENT PLAN**

BUILDING/FACILITY/ZONE	DISCIPLINE

PROJECT NR. / ABBREV.	DATE
PRW10	2023/07/12 14:17:44

DRAWING NUMBER								
PROJECT	ORIG.	ZONE	LEVEL	TYPE	ROLE	SERIAL NO.	STAT	REV
PRW10						010001		

**SCALE** 1 : 500

**FOR TENDER**

2023/07/12 14:17:44